

ORDINANCE NO. 1050 (2023/2024)

AN ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF NEVADA, IOWA, BY REZONING THE PROPERTY AT 115 WEST LINCOLN HIGHWAY, WEST FIELD DEVELOPMENT LLC FROM UC/R-3 (URBAN CORRIDOR/URBAN FAMILY RESIDENTIAL) TO GC (GENERAL COMMERCIAL).

Be it enacted by the City Council of the City of Nevada, Iowa;

SECTION 1. ZONING AMENDMENT. The Zoning Map of the City of Nevada, Iowa, is hereby amended by rezoning parcel of land owned by West Field Development and located within the corporate limits of the City of Nevada, Iowa which is legally described as:

Lot Three (3), Four (4), Five (5), Six (6), Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16) in West Park Addition to Nevada, Iowa

and shall be rezoned from a "UC/R-3" (Urban Corridor/Urban Family Residential) District, to a "GC" (General Commercial) District.

SECTION 2. NOTATION. The City Zoning Official shall record the ordinance number and date of passage of this Ordinance on the Official Zoning Map as required by Section 165.09(5)(B), Code of Ordinances of the City of Nevada, Iowa, 2006 as amended.

SECTION 3. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

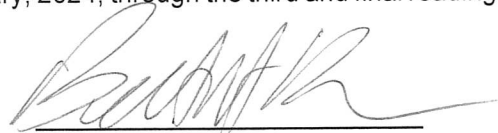
SECTION 4. SEVERABILITY CLAUSE. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in full force and effect from and after its final passage, approval and publication as provided by law.

PASSED AND APPROVED this 12th day of February, 2024, through the first reading.

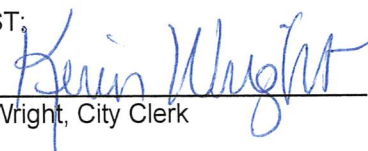
PASSED AND APPROVED this 26th day of February, 2024, through the second reading

PASSED AND WAIVED this 26th day of February, 2024, through the third and final reading. Enacted upon publication.



Brett Barker, Mayor

ATTEST:


Kerin Wright, City Clerk

Public Hearing Scheduled – January 22, 2024
Published – January 25, 2024
Public Hearing held– February 12, 2024

1st Reading – February 12, 2024

Motion by Council Member Dane Neilson, seconded by Council Member Henry Corbin, to adopt the first reading of Ordinance No. 1050 (2023/2024).

AYES: Neilson, Corbin, Sampson, Skaggs, Ehrig
NAYS: None
ABSENT: None

2nd Reading – February 26, 2024

Motion by Council Member Jason Sampson, seconded by Council Member Henry Corbin, to approve the second reading of Ordinance No. 1050 (2023/2024).

AYES: Sampson, Corbin, Neilson, Skaggs
NAYS: None
ABSENT: Ehrig

3rd Reading – February 26, 2024

Motion by Council Member Jason Sampson, seconded by Council Member Steve Skaggs, to waive the third and final reading of Ordinance No. 1050 (2023/2024).

AYES: Sampson, Skaggs, Corbin, Neilson
NAYS: None
ABSENT: Ehrig

The Mayor declared Ordinance No. 1050 (2023/2024) adopted.

I hereby certify that the foregoing is a true copy of a record of the adoption of Ordinance No. 1050 (2023/2024) at the regular Council Meeting of the City of Nevada, Iowa, held on the 26th day of February, 2024.



Kerin Wright, City Clerk

NOTICE OF REQUEST TO AMEND
THE ZONING ORDINANCE OF NEVADA, IOWA

The City Council of the City of Nevada, Iowa, has received a recommendation from the Planning and Zoning Commission to approve a rezoning request from the property owner, West Field Development LLC, to amend the zoning ordinance of the City of Nevada, Iowa, by changing the zoning classification on the following described property, 115 West Lincoln Highway, owned by them and located within the corporate limits of the City of Nevada, Iowa, from UC/R-3 (Urban Corridor/Urban Family Residential) to GC (General Commercial).

The property for which the Rezoning Application is proposed is legally described as:

Lot Three (3), Four (4), Five (5), Six (6), Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16) in West Park Addition to Nevada, Iowa

The Planning and Zoning Commission of the City of Nevada, Iowa, held a public hearing on this request on the 12th day of December, 2023. It is their recommendation to approve the rezoning request.

The City Council of the City of Nevada, Iowa, will hold a public hearing on this request on the 12th day of February, 2024 at the City Council Meeting which is set to begin at 6:00 o'clock P.M., in the Nevada City Hall, 1209 Sixth Street, Nevada, Iowa, to consider the recommendation.

It is your right to attend this hearing and express your views concerning the proposed change, or you may submit your comments in writing to the City Clerk no later than 9:00 o'clock A.M. on the 12th day of February, 2024.

Kerin Wright
City Clerk

LOCALiQ

Ames Tribune

PO Box 631851 Cincinnati, OH 45263-1851

PROOF OF PUBLICATION

CITY CLERK'S OFFICE
City Of Nevada
1209 6th ST

Nevada IA 50201-1536

STATE OF WISCONSIN, COUNTY OF BROWN

The Nevada Journal, a weekly newspaper printed and published at Ames, Story County, Iowa, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspaper in the issues dated:

01/25/2024

and that the fees charged are legal.

Sworn to and subscribed before on 01/25/2024

Legal Clerk

Notary, State of WI, County of Brown

My commission expires

Publication Cost: \$33.60

Order No: 9757097

of Copies:

Customer No: 842186

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PO #: LIOW0053018

THIS IS NOT AN INVOICE!

Please do not use this form for payment remittance.

AMY KOKOTT
Notary Public
State of Wisconsin

NOTICE OF REQUEST TO AMEND THE ZONING ORDINANCE OF NEVADA, IOWA

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It is your right to attend this hearing and express your views concerning the proposed change, or you may submit your comments in writing to the City Clerk no later than 9:00 A.M. on the 12th day of February, 2024.

Kerin Wright
City Clerk
January 25 2024
L1OW0053018

City Council:

I have included an Action Form for a new platform to enter permits, nuisances and rentals.

Continuing to process permits.

Getting ready to start nuisances for yard waste and junk collection.

I am asking to forgo the third reading for the Rezoning the property at 115 W Lincoln Hwy. The reason for expediting the readings is for closing on the property. The party purchasing the property is wanting to close soon. They have submitted a building permit and site plan.

Respectfully,

Ryan Hutton
Building and Zoning Official

The
OVERLAND
GROUP

DILIGENCE & COMMITMENT EVERYDAY

February 21, 2024

Mayor & City Council
City of Nevada
1209 6th Street
Nevada, IA 50201

RE: Dollar General Store
Rezoning

Dear Mayor & Council Members:

As you are aware, our development group and the current owner have applied for rezoning of property at 115 West Lincoln Highway to allow construction of a Dollar General retail store.

It is our understanding that the first reading has taken place and the second reading is scheduled for February 26th. We request that City Council waive the third reading and rule on the rezoning at the February 26th hearing.

Thank you for your consideration and please let me know if you have any questions.

Sincerely,

THE OVERLAND GROUP



Jacob Stauffer

ALABAMA OFFICE:
194 NARROWS DRIVE, SUITE 1
BIRMINGHAM, AL 35242
205.995.2990

SID AULTMAN

BRUCE GRISHAM

ROD HAMBY

WWW.THEOVERLANDGROUP.COM

MISSOURI OFFICE:
1598 IMPERIAL CENTER, STE. 2001 | PO BOX 885
WEST PLAINS, MO 65775
417.256.4790

R.B. GRISHAM



City Hall | 1209 6th Street | Nevada, IA 50201-0530
p. (515) 382-5466 | f. (515) 382-4502

January 2024

TO: Mayor - City Council Members
City Administrator Jordan Cook

From: Ryan Hutton
Building & Zoning Official

1. With the recommendation from the Planning and Zoning Commission, we are seeking approval from the City Council Members to approve the Rezoning of the Property at 115 W Lincoln Hwy, West Field Development LLC from UC/R-3 (Urban Corridor/Urban Family Residential) to GC (General Commercial)

Best Regards,
Ryan Hutton
Building and Zoning Official

Memo

To: Planning & Zoning Commission
From: Ryan Hutton, Zoning Supervisor
CC: Jordan Cook, City Administrator
Date: 12/11/23

RE: General Information

- 1. Rezoning of 115 W Lincoln Hwy:** The City of Nevada has received a Rezoning Application. The proposed rezoning location is 115 W Lincoln Hwy. The applicant is currently zoned as R-3 (Urban Family Residential District) and UC (Urban Corridor Mixed Use District). The applicant is requesting to be rezoned to GC (General Commercial). The proposed location requires a public hearing from Planning and Zoning Commission. The Planning and Zoning Commission can make a recommendation to send the rezoning application to be reviewed by the City Council. Included in your packet is a copy of the application and location map.

If you have any questions please contact me at work, 515-382-5466, or at home, 515-720-3545, and prior to Monday night's meeting

MUST BE FILED IN PLANNING & ZONING
OFFICE BY 9:00 A.M ON
Hearing Date: _____/_____/_____



Rezoning Application Packet

1. **Application Packet.** Be sure to complete and submit all the required materials that are part of this Application Packet. Failure to do so will result in a delay in processing your application.

The "Application Packet" for *Rezoning* includes the following:

- Application Form (This form must be completed for all applications.);
- Checklist (Use this checklist to assure that you have included all of the required information with your application materials); and,

2. **The Process.** The rezoning process involves the following steps:

The **City Council may**, on its own initiative, on petition by the property owner, or on recommendation of the Planning and Zoning Commission, or after 60 days written notice to the Commission, **amend, supplement, or change the regulations, districts, or the Official Zoning Map.**

Whenever **the owners of 50 percent or more of the area of the lots in any district** or part thereof desire amendment, supplement, or change in any of the provisions of the Zoning Ordinance applicable to such area, they **may file an application** with the **City Clerk** requesting City Council to make such amendment, supplement or change.

Applicants are encouraged to meet with planning staff prior to submitting an application for rezoning to determine conformance of the request with the Comprehensive Plan.

Submit the completed application packet to the City Clerk on or before 9:00 a.m. at least 15 days prior to a regularly scheduled meeting of the Planning and Zoning Commission.

Notice of the proposed change to the Zoning Map **will be mailed** by the Department of Planning and Zoning to **the owners of property located within 200 feet** of the boundaries of the area proposed for rezoning.

- **City staff will analyze the rezoning request** in relation to the City's Comprehensive Plan and other applicable plans, policies, ordinances, and resources.
 - **The Planning and Zoning Commission shall conduct a public hearing and file its recommendations** approving, disapproving, or modifying the proposed amendment, supplement, or change with the City Council **within 90 days** thereafter, unless time extensions are specifically requested by the applicant.
 - **Notice of a Zoning Map change shall be made by mail, publication, and posting and at least 7 days notice must be given.** ~~In no case shall the public hearing be~~ held earlier than the next regularly-scheduled City Council meeting following the notice.
 - The **City Council conducts a public hearing on the rezoning request.** In order for the rezoning to take effect, **the Council must approve the rezoning at three separate readings.** The first reading may be held at the same time as the public hearing. The second and third readings are held at subsequent City Council meetings.
 - The **City Council may impose reasonable conditions** on map amendments in accordance with Iowa Code Section 414.5.
3. **Commission and Council Meetings.** The Commission regularly meets on the **first Monday of the month** at 6:15 p.m. in the City Council Chambers.
- The City Council generally meets on the **second and fourth Mondays of the month** at 5:30 p.m. in the City Council Chambers.
4. **Filing Deadline.** The deadline to file an application for Rezoning is **Monday at 9:00 a.m., 15 days prior to the Planning and Zoning Commission meeting.** All required information and materials must be filed with the

**City Clerk,
City Hall
1209 6th Street
Nevada, Iowa 50201**

5. Vote Required When the Amendment is Protested. Written protest by the owners of 20% or more of the property by area **within the proposed zoning area** or by the owners of 20% or more of the property by area within 200 feet of the proposed rezoning area will require the favorable vote of at least three-quarters (3/4) of all members of the City Council.

6. Renewal of the Petition After Denial. When a rezoning petition has been denied by the City Council, such petition cannot be renewed for one year thereafter unless it is signed by at least 50% of the property owners who previously objected to the change. This provision, however, shall not prevent City Council from acting on its own initiative in any case or at any time.

**~~IF YOU HAVE ANY QUESTIONS WHILE COMPLETING THIS APPLICATION,
PLEASE CONTACT THE DEPARTMENT OF PLANNING AND ZONING.~~**

**City Hall
1209 6th Street
Phone: 515-382-5466
FAX: 515-382-4502
E-mail: rhutton@cityofnevadaiaowa.org**



Rezoning Application Form

(This form must be filled out completely before your application will be accepted.)

1. Property Address for this Rezoning Request: 115 West Lincoln Highway

2. Legal Description (attach, if lengthy): _____

see attached survey

3. Applicant: DGOGNevadaia06282023, LLC

Address: 1906 E Battlefield Rd Springfield MO 65775
(Street) (City) (State) (Zip)

Telephone: 417-256-4790 417-256-8150 417-256-8152
(Home) (Business) (Fax)

4. Property Owner: West Field Development, LLC

Address: 4100 Purvis Lane Ames IA 50010
(Street) (City) (State) (Zip)

Telephone: 319-291-7005
(Home) (Business) (Fax)

5. Contact Person: Robert Englehart

Address: 4100 Purvis Lane Ames IA 50010
(Street) (City) (State) (Zip)

Telephone: 319-291-7005
(Home) (Business) (Fax)



Obtaining approval of this Rezoning does not absolve the applicant from obtaining all other applicable permits, such as Building Permits, IDOT access permits, et cetera.

I (We) certify that I (we) am (are) familiar with applicable state and local codes and ordinances, the procedural requirements of the City of Nevada, and have submitted all the required information which is accurate, true and correct.

Signed by: [Signature] Date: 11/10/2023
Applicant)

(Note: No other signature may be substituted for the Property Owner's Signature)

and: [Signature] Date: 11/8/2023
(Property Owner)

and: [Signature] Date: 11/8/2023
(Contact Person)



Rezoning Checklist

(This form must be filled out completely and the required information must be attached to this form before your application will be accepted.)

The following information is required as part of a submittal for a request for to Rezone. Please attach your answers to each item.

- A written explanation of the reasons for requesting rezoning. Please state facts, not conclusions.
- A **petition** signed by owners **of at least 50% of the area to be rezoned.**
- A written explanation showing the consistency of the proposed rezoning with the Comprehensive Plan.
- **Current zoning** of the subject property.
- **Proposed zoning** of the subject property.
- **Proposed use** of the property in sufficient detail to determine code compliance.
- A **Legal Description** of the property(ies) proposed for rezoning.
- The **land area** (measured in square feet and/or acres) for each property proposed for rezoning.

A drawn to scale **map** that includes the following:

- Drawn to scale
- Date of submittal
- North arrow; and
- Boundaries of the property proposed for rezoning

A Site Plan may also be required if determined applicable by the Zoning Administrator

B. Property Owners' Statement
(must be owners of at least 50% of area to be rezoned)

To Whom It May Concern:

We, the undersigned, own property adjoining 115 West Lincoln Highway Nevada, Iowa.

West Field Development, LLC
It is our understanding that and DGOGNevadaia06282023, LLC has requested a change in Zoning at 115 West Lincoln Highway.

As adjoining property owners, we would have no objections to the change in Zoning.

NAME (SIGNATURE)	ADDRESS	DATE SIGNED
<small>DocuSigned by:</small> <small>62C1852ACC48461...</small>		11/10/2023

Planning & Zoning and Board of Adjustment Fees

Major Subdivision Preliminary Plat*	\$150.00 + \$10.00 per lot
Major Subdivision Final Plat*	\$75.00
Minor Subdivision*	\$75.00
Administrative Subdivision*	\$75.00
Site Plan*	\$100.00
Special Use Permit*	\$100.00
Text Amendment of Code*	\$50.00
Rezoning*	\$100.00+ \$1.00 per mailing
Board of Adjustment: Residential	\$100.00
Board of Adjustment: Commercial/Industrial	\$200.00
Construction Drawings	100% of Costs for Outside Consulting

* 100% of costs incurred by the City during review shall be charged to the developer

No Plat shall be considered by the City Council until fees are paid

Rezoning Narrative
115 W Lincoln Highway

Reason for Request

The current owner is under contract with DGOGNevadaia06282023, LLC for purchase of the property and development as a Dollar General retail store. A change in current zoning is needed to allow a retail use on the property.

Consistency with Comprehensive Plan

The property is located on Lincoln Highway which is noted in the Comprehensive Plan as the preferred location for Commercial developments. Appropriate buffers will be maintained adjacent to R-3 zoning on the north side of the property.

Current Zoning

Urban Corridor Mixed Use on the southern half and R-3 Urban Family Residential on the northern half.

Proposed Zoning

General Commercial

Proposed Use

Retail -- Dollar General

Legal Description

See attached ALTA survey.

Land Area

1.30 acres

DOLLAR GENERAL

NO.	DATE	DESCRIPTION	BY

Verland
ENGINEERING, LLC
156 WEST, CTR. #100 WEST PLAZA, #1570
DUBLIN, OH 43017
PH: (614) 292-9888
FAX: (614) 292-9882

DOLLAR GENERAL
NEVADA, IOWA
SITE PLAN

SHEET
C1



LEGEND

W	Water Main	EL	Existing Elevation
SY	Sanitary Sewer	EL	Existing Elevation
U	Gas Main	EL	Existing Elevation
UJ	Underground Telephone	EL	Existing Elevation
UB	Underground Electric	EL	Existing Elevation
UL	Light Pole	EL	Existing Elevation
UL	Light Pole	EL	Existing Elevation
UL	Light Pole	EL	Existing Elevation
UL	Light Pole	EL	Existing Elevation
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UL	Light Pole	EL	Existing Elevation
UL	Light Pole	EL	Existing Elevation
UL	Light Pole	EL	Existing Elevation
UL	Light Pole	EL	Existing Elevation

BENCHMARK 1
1st Hydraulic Utility Intersection adjacent to
the southeast corner of subject property.
Elevation = 980.02'

BENCHMARK 2
1st Hydraulic Utility Intersection adjacent to
the southeast corner of subject property.
Elevation = 980.04'

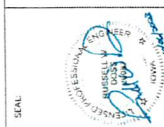
BASIS OF BEARING SYSTEM
All bearings are based on the 1983 NAD 83 DATUM. UNITS: DEGREES

FLOOD ZONE DESIGNATION
THE SUBJECT PROPERTY IS IN ZONE X AREA OF A FLOOD HAZARD AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 190602C0030 EFFECTIVE DATE: January 15, 2011.

LEGAL DESCRIPTION
Lot: Three (3) of 49, Five (5), Six (6), Section 133, Township 14N, Range 10W, County: Franklin, Iowa. Section 133 is bounded to the north by Highway 163, to the south by Highway 163, to the east by Highway 163, and to the west by Highway 163.

GENERAL NOTES

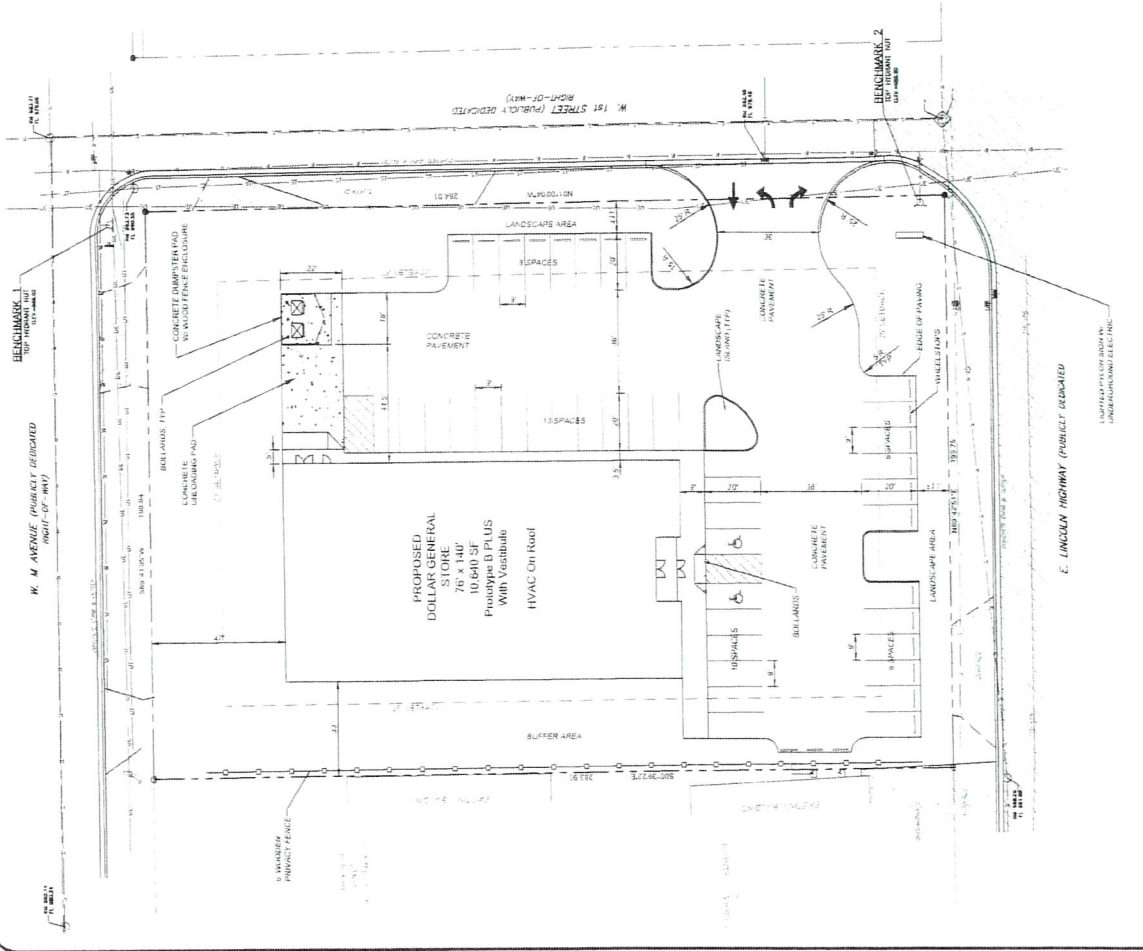
- 1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF NEVADA, IOWA.
- 2. ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY OF NEVADA, IOWA.
- 3. THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE VICINITY OF THE CONSTRUCTION TO BE PERFORMED BY THE TIME THE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE STATE OF IOWA, UTILITIES, AND ALL OTHER AGENCIES WITHIN THE VICINITY OF THE CONSTRUCTION TO BE PERFORMED BY THE TIME THE CONSTRUCTION BEGINS.
- 4. TO EXISTING UTILITIES SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- 5. THE CONTRACTOR SHALL MAINTAIN UNOCCUPIED CLEARANCES THROUGHOUT THE PROJECT AND SHALL KEEP THE STREETS CLEAN AND OPEN AT ALL TIMES.
- 6. THE CONTRACTOR SHALL MAINTAIN CLEARANCES THROUGHOUT THE PROJECT AND SHALL KEEP THE STREETS CLEAN AND OPEN AT ALL TIMES.
- 7. THE CONTRACTOR SHALL MAINTAIN CLEARANCES THROUGHOUT THE PROJECT AND SHALL KEEP THE STREETS CLEAN AND OPEN AT ALL TIMES.
- 8. THE CONTRACTOR SHALL MAINTAIN CLEARANCES THROUGHOUT THE PROJECT AND SHALL KEEP THE STREETS CLEAN AND OPEN AT ALL TIMES.
- 9. THE CONTRACTOR SHALL MAINTAIN CLEARANCES THROUGHOUT THE PROJECT AND SHALL KEEP THE STREETS CLEAN AND OPEN AT ALL TIMES.
- 10. THE CONTRACTOR SHALL MAINTAIN CLEARANCES THROUGHOUT THE PROJECT AND SHALL KEEP THE STREETS CLEAN AND OPEN AT ALL TIMES.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT SHOWS THE WORK I HAVE PERFORMED AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. (DATE) _____
ROBERT D. ... (NAME)
REGISTERED PROFESSIONAL ENGINEER (NUMBER AND JUDGE)
MAY LICENSE EXPIRES: DATE IS: DECEMBER 31, 2023
PAGE(S) OF SHEETS COVERED BY THIS SHEET: C1 THRU C8

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

UTILITY LOCATIONS AND BURIED UTILITIES IN THE VICINITY OF THE SUBJECT PROPERTY HAVE BEEN REVEALED BY ELECTRICAL, GROUND PENETRATING RADAR, AND GROUND PENETRATING RADAR. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE INFORMATION AND SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETION THEREOF TO SUFFICIENTLY SATISFACTION.



DOLLAR GENERAL
 NEVADA, IOWA
 DEMOLITION PLAN
 SHEET C1.1

verland
 ENGINEERING, L.C.
 (505) 824-1200
 1000 1/2 AVENUE S.W. SUITE 101
 ALBUQUERQUE, NM 87102
 www.verlandeng.com

NO.	DATE	DESCRIPTION	BY

BUILDING DEMOLITION NOTES:

- 1) ALL STRUCTURES ARE TO BE DEMOLISHED IN ACCORDANCE WITH THE IOWA DEPARTMENT OF PUBLIC SAFETY, DIVISION OF FIRE PREVENTION AND INSPECTION, CHAPTER 88.1, IAC (IOWA IBC) AND THE IOWA DEPARTMENT OF PUBLIC SAFETY, DIVISION OF FIRE PREVENTION AND INSPECTION, CHAPTER 88.1, IAC (IOWA IBC).
- 2) ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF OFF-SITE.
- 3) ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF OFF-SITE IN A TIREY MANNER.
- 4) PRIOR TO BUILDING DEMOLITION, CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE IOWA DEPARTMENT OF PUBLIC SAFETY, DIVISION OF FIRE PREVENTION AND INSPECTION, CHAPTER 88.1, IAC (IOWA IBC).
- 5) SEE THE ENVIRONMENTAL SITE INVESTIGATION REPORT PREPARED BY ADVA CONSULTING GROUP.
- 6) ALL EROSION CONTROL MEASURES SHALL BE IN PLACE FROM THE BEGINNING OF DEMOLITION TO THE END OF DEMOLITION.
- 7) ALL DEMOLITION MATERIALS SHALL BE RECYCLED OR REUSED FOR FUEL.
- 8) ALL DEMOLITION MATERIALS CONTAINING ASBESTOS AND LEAD SHALL BE HANDLED IN ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS.



BENCHMARK 1
 Top hydrant and located north-west corner adjacent to the roadway.
 Elevation = 986.02'

BENCHMARK 2
 Top hydrant and located north-west corner adjacent to the southeast corner of subject property.
 Elevation = 985.30'

BASIS OF BEARING SYSTEM
 All bearings are based on the 1983 NAD83 datum.

FLOOD ZONE DESIGNATION
 THE SUBJECT PROPERTY IS IN THE X-1 FLOOD ZONE OF A FLOOD HAZARD STUDY PERFORMED BY THE IOWA DEPARTMENT OF PUBLIC SAFETY, DIVISION OF FIRE PREVENTION AND INSPECTION, CHAPTER 88.1, IAC (IOWA IBC) ON 11/15/2017.

LEGAL DESCRIPTION
 Lot 8, Block 18, East 8th Street Subdivision, Township 13N, Range 14E, Section 18E, T13N, R14E, S18E, IOWA PLATS 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 2682, 2683, 2684, 2685, 2686, 2687, 2688, 2689, 2690, 2691, 2692, 2693, 2694, 2695, 2696, 2697, 2698, 2699, 2700, 2701, 2702, 2703, 2704, 2705, 2706, 2707, 2708, 2709, 2710, 2711, 2712, 2713, 2714, 2715, 2716, 2717, 2718, 2719, 2720, 2721, 2722, 2723, 2724, 2725, 2726, 2727, 2728, 2729, 2730, 2731, 2732, 2733, 2734, 2735, 2736, 2737, 2738, 2739, 2740, 2741, 2742, 2743, 2744, 2745, 2746, 2747, 2748, 2749, 2750, 2751, 2752, 2753, 2754, 2755, 2756, 2757, 2758, 2759, 2760, 2761, 2762, 2763, 2764, 2765, 2766, 2767, 2768, 2769, 2770, 2771, 2772, 2773, 2774, 2775, 2776, 2777, 2778, 2779, 2780, 2781, 2782, 2783, 2784, 2785, 2786, 2787, 2788, 2789, 2790, 2791, 2792, 2793, 2794, 2795, 2796, 2797, 2798, 2799, 2800, 2801, 2802, 2803, 2804, 2805, 2806, 2807, 2808, 2809, 2810, 2811, 2812, 2813, 2814, 2815, 2816, 2817, 2818, 2819, 2820, 2821, 2822, 2823, 2824, 2825, 2826, 2827, 2828, 2829, 2830, 2831, 2832, 2833, 2834, 2835, 2836, 2837, 2838, 2839, 2840, 2841, 2842, 2843, 2844, 2845, 2846, 2847, 2848, 2849, 2850, 2851, 2852, 2853, 2854, 2855, 2856, 2857, 2858, 2859, 2860, 2861, 2862, 2863, 2864, 2865, 2866, 2867, 2868, 2869, 2870, 2871, 2872, 2873, 2874, 2875, 2876, 2877, 2878, 2879, 2880, 2881, 2882, 2883, 2884, 2885, 2886, 2887, 2888, 2889, 2890, 2891, 2892, 2893, 2894, 2895, 2896, 2897, 2898, 2899, 2900, 2901, 2902, 2903, 2904, 2905, 2906, 2907, 2908, 2909, 2910, 2911, 2912, 2913, 2914, 2915, 2916, 2917, 2918, 2919, 2920, 2921, 2922, 2923, 2924, 2925, 2926, 2927, 2928, 2929, 2930, 2931, 2932, 2933, 2934, 2935, 2936, 2937, 2938, 2939, 2940, 2941, 2942, 2943, 2944, 2945, 2946, 2947, 2948, 2949, 2950, 2951, 2952, 2953, 2954, 2955, 2956, 2957, 2958, 2959, 2960, 2961, 2962, 2963, 2964, 2965, 2966, 2967, 2968, 2969, 2970, 2971, 2972, 2973, 2974, 2975, 2976, 2977, 2978, 2979, 2980, 2981, 2982, 2983, 2984, 2985, 2986, 2987, 2988, 2989, 2990, 2991, 2992, 2993, 2994, 2995, 2996, 2997, 2998, 2999, 3000.

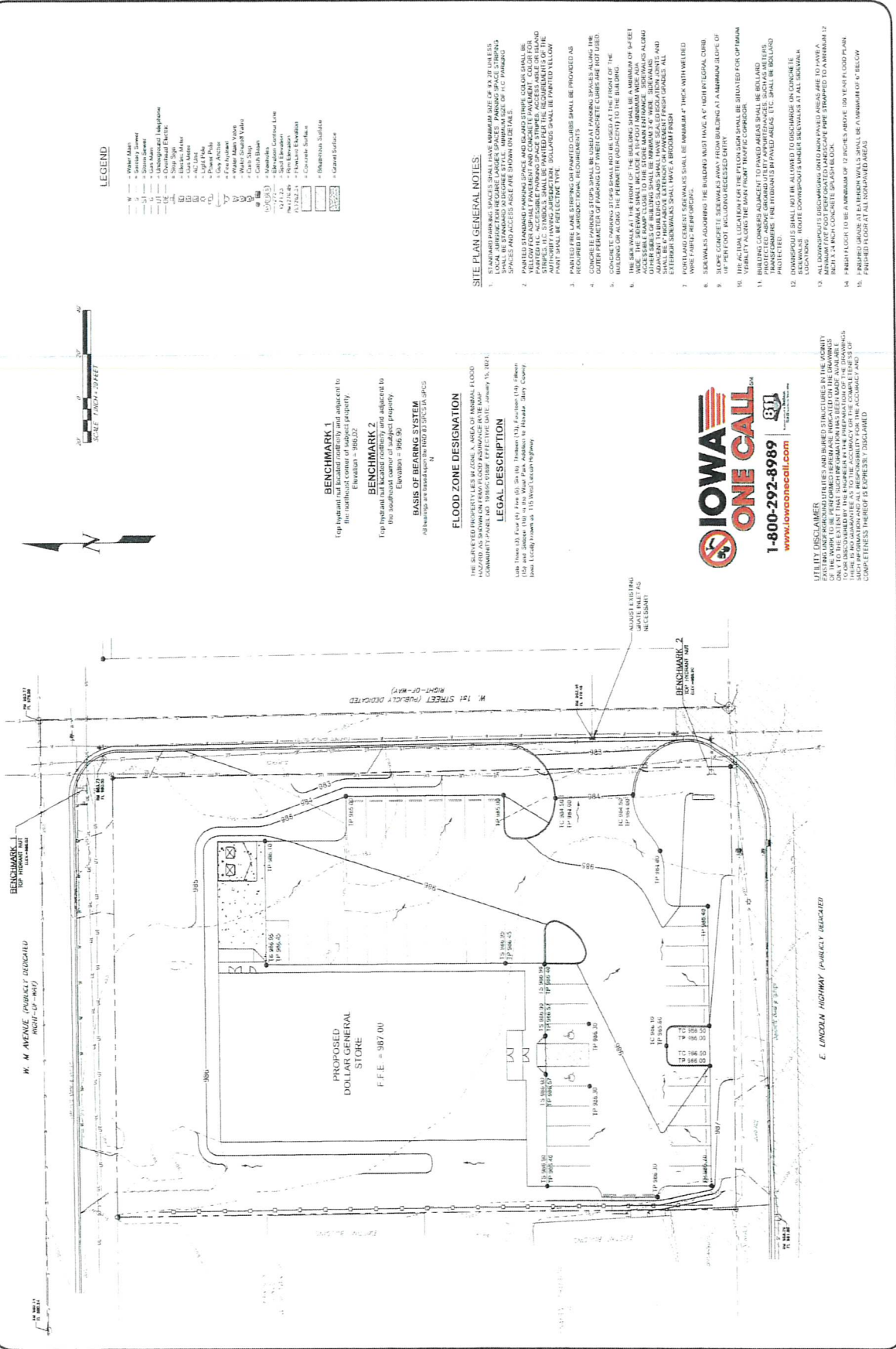
LEGEND

—	Proposed
- - -	Existing
	Electrical Service
	Gas Service
	Sewer Service
	Water Service
	Stormwater Service
	Telephone Service
	Cable Service
	Utility Loading Area
	Erosion Control Measure
	Existing Building
	Proposed Building
	Property Boundary
	Survey Point
	Benchmark
	Flood Zone
	Right-of-Way

UTILITY DISCLAIMER
 THE CLIENT HAS REPRESENTED THAT ALL UTILITIES SHOWN ON THIS PLAN ARE ACCURATE AND COMPLETE. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND RECORD DRAWINGS TO VERIFY THE LOCATION OF UTILITIES. HOWEVER, THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION AND ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

IOWA ONE CALL
 1-800-292-8989
 www.iowaonecall.com





LEGEND

- 1 - Utility Markers
- 2 - Storm Sewer
- 3 - Storm Sewer
- 4 - Storm Sewer
- 5 - Storm Sewer
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- 8 - Storm Sewer
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- 100 - Storm Sewer

SITE PLAN GENERAL NOTES:

1. STAMPAID PARKING SPACES SHALL HAVE A MINIMUM SIZE OF 9' X 20' UNLESS OTHERWISE NOTED. PARKING SPACES SHALL BE SPACED AND ACCESSIBLE PER THE IOWA UNIFORM CODES (IUC) AND IOWA UNIFORM CONSTRUCTION CODES (IUC) AND IOWA UNIFORM FIRE SAFETY CODES (IUCFSC). PARKING SPACES SHALL BE SPACED AND ACCESSIBLE PER THE IOWA UNIFORM CODES (IUC) AND IOWA UNIFORM CONSTRUCTION CODES (IUC) AND IOWA UNIFORM FIRE SAFETY CODES (IUCFSC). PARKING SPACES SHALL BE SPACED AND ACCESSIBLE PER THE IOWA UNIFORM CODES (IUC) AND IOWA UNIFORM CONSTRUCTION CODES (IUC) AND IOWA UNIFORM FIRE SAFETY CODES (IUCFSC).
2. THE SIDEWALKS AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 6 FEET WIDE. THE SIDEWALKS AT THE REAR OF THE BUILDING SHALL BE A MINIMUM OF 4 FEET WIDE. THE SIDEWALKS AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 6 FEET WIDE. THE SIDEWALKS AT THE REAR OF THE BUILDING SHALL BE A MINIMUM OF 4 FEET WIDE. THE SIDEWALKS AT THE FRONT OF THE BUILDING SHALL BE A MINIMUM OF 6 FEET WIDE. THE SIDEWALKS AT THE REAR OF THE BUILDING SHALL BE A MINIMUM OF 4 FEET WIDE.
3. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS.
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15. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS. CONCRETE SIDEWALKS SHALL BE 4" THICK WITH UNWEAPONED REINFORCING BARS.

BENCHMARK 1
Top of benchmark subject to the southeast corner of subject property.
Elevation = 986.27'

BENCHMARK 2
Top of benchmark subject to the southeast corner of subject property.
Elevation = 986.99'

BASEIS OF BEARING SYSTEM
All bearings are measured clockwise from the north.

FLOOD ZONE DESIGNATION
THE SUBJECT PROPERTY IS IN A FLOOD HAZARD AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 19805C0101E DATED JANUARY 16, 2017.

LEGAL DESCRIPTION
Lot 10, Block 4, East 1st Street, Des Moines, Iowa, Section 10, Township 13N, Range 15E, Meridian 10W, Iowa.

IOWA ONE CALL
1-800-292-8989
www.iowaneccall.com

UTILITY DISCLAIMER
EXISTING UTILITIES AND BURIED STRUCTURES ARE SHOWN ON THE PLAN ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO THE ENGINEER BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS NOT CONDUCTED ANY OTHER INVESTIGATIONS. THERE IS NO WARRANTY AS TO THE ACCURACY OR THE COMPLETENESS OF THE INFORMATION PROVIDED. THE ENGINEER'S LIABILITY IS LIMITED TO THE COMPLETENESS OF THE INFORMATION PROVIDED.

NO.	DATE	DESCRIPTION	BY



SEEDING AND MULCHING SPECIFICATIONS

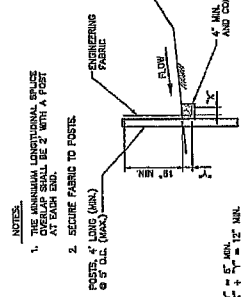
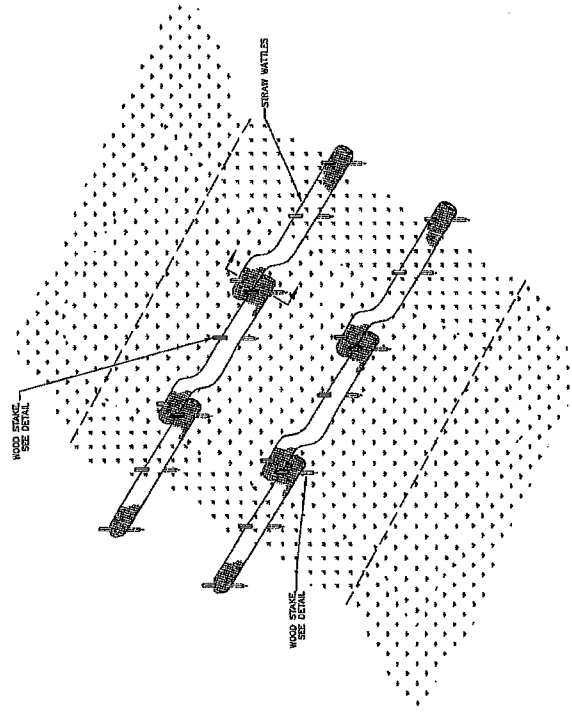
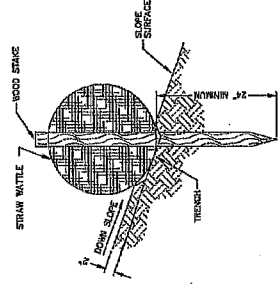
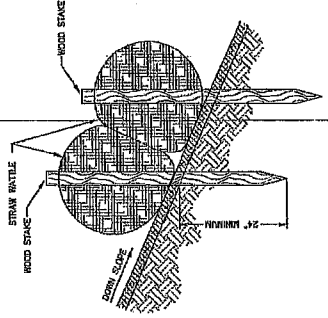
ALL DISTURBED AREAS MUST BE REVEGETATED BEFORE TEMPORARY SEDIMENT CONTROLS CAN BE REMOVED.

1. SEEDING SPECIFICATIONS:
ALL SEEDING, INCLUDING FERTILIZING, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH SECTION 810 OF THE SODAS STANDARD SPECIFICATIONS.

2. TOPSOIL:
SEEDBED SHALL BE PREPARED (ASSASSIN TOPSOIL - A MINIMUM OF 6 INCHES).
FERTILIZER SHALL BE 13-13-13 (N-P-K) COMMERCIAL GRADE APPLIED AT A RATE OF 200 LBS PER ACRE.

3. SEEDS:
SEED MIX SHALL BE TYPE 1 AS SPECIFIED IN THE SODAS STANDARD SPECIFICATIONS.
SEED SHALL BE APPLIED AT A RATE OF 300 POUNDS PER ACRE.

4. MULCHING:
MULCHING SHALL BE APPLIED AT THE RATE OF 1.5 TONS PER ACRE.



SILT FENCE DETAIL
NOT TO SCALE

- NOTES:**
1. THE MINIMUM LONGITUDINAL SPACE BETWEEN WATTLES SHALL BE 4' WITH A TIGHT FIT AT EACH END.
 2. SECURE FABRIC TO POSTS.
POSTS: 4" DIA. (MIN.)
Ø 5" DIA. (MAX.)
- MIN. 12" MIN. 4" MIN. WITH TRENCH AND COMPACTED BACKFILL.
- 4" 5" 12" MIN.

BIO-ROLL/WATTLE DETAIL
NOT TO SCALE

DOLLAR GENERAL

1601 WEST PINE AVENUE & 151 STREET, WAKARUSA, IOWA

NO.	DATE	DESCRIPTION	BY



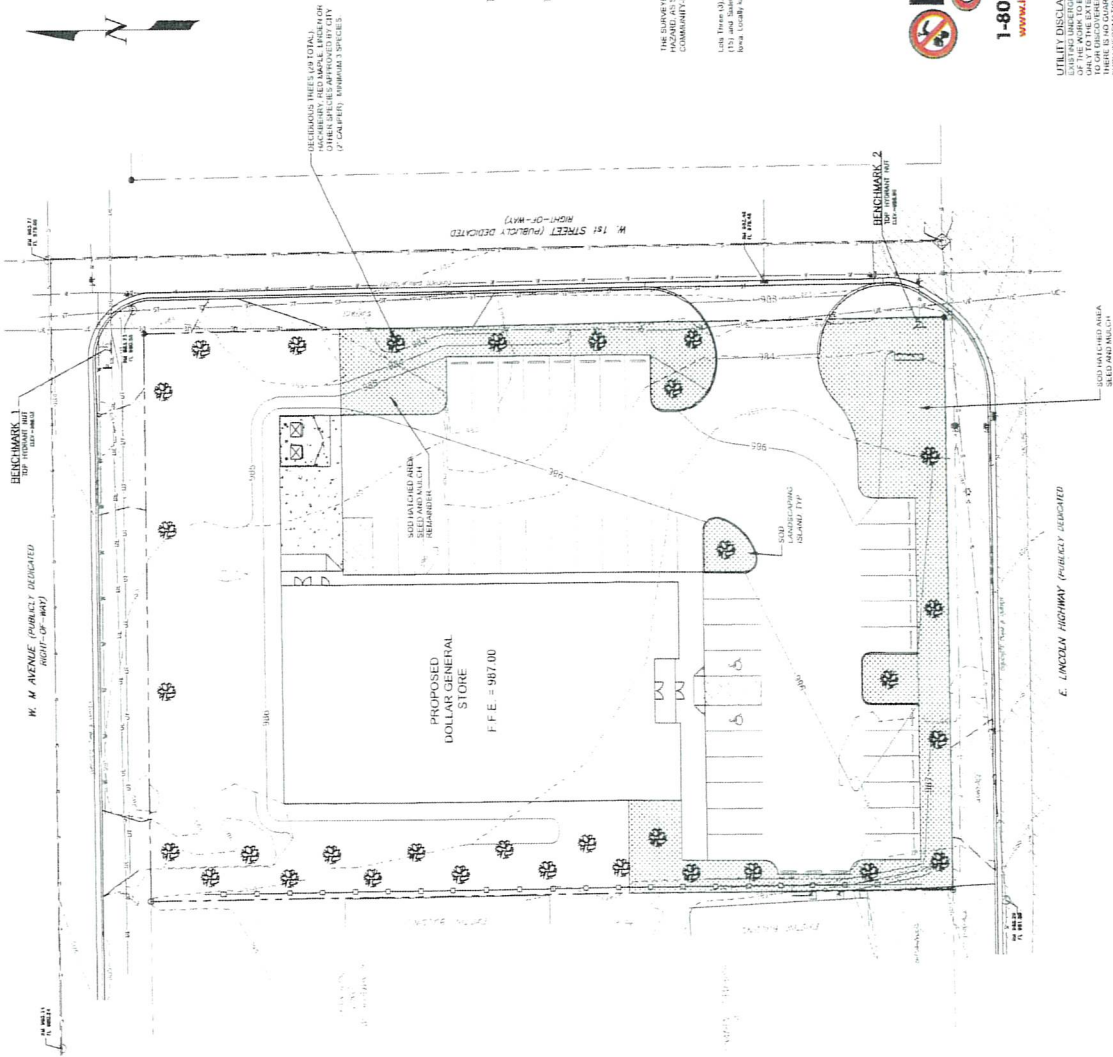
Overland
ENGINEERING, LLC
1508 W. PINE AVE., SUITE 202, WEST PINE, IA 50472
PHONE (515) 282-4355 FAX (515) 282-8173
info@overlandeng.com

DOLLAR GENERAL
NEVADA, IOWA
LANDSCAPING PLAN

SHEET
C4

LEGEND

- Water Meter
- Storm Sewer
- Sanitary Sewer
- Underdrain
- Underdrain Electric
- Electric Meter
- Electric Meter with Grounding
- AC Unit
- Light Pole
- Day Aborter
- Water Shut-Off Valve
- Manhole
- Catch Basin
- Manhole with Cover and Lids
- Storm Inlet
- Storm Inlet with Catchment
- Concrete Structure
- Masonry Structure
- Gravel Surface



DOLLAR GENERAL

DOLLAR GENERAL AND ASSOCIATED LANDSCAPE ARCHITECTS
1600 PARKWAY, SUITE 200, WEST DES MOINES, IOWA 50319

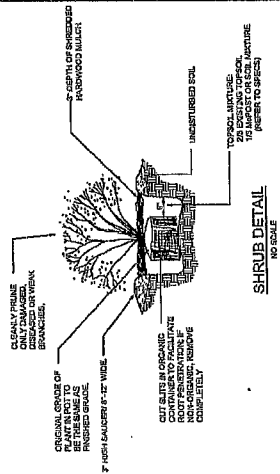
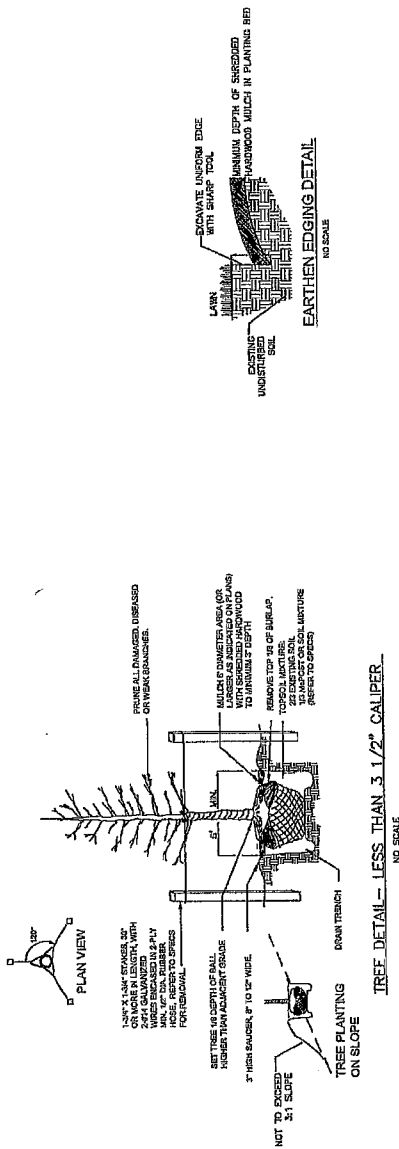
NO.	DATE	DESCRIPTION	BY



Verland
ENGINEERING, INC.
1000 PARKWAY, SUITE 200, WEST DES MOINES, IOWA 50319
PHONE: (515) 281-8150 FAX: (515) 281-0102
www.verlandeng.com

DOLLAR GENERAL
NEVADA, IOWA
LANDSCAPING DETAILS

SHEET
C4.1

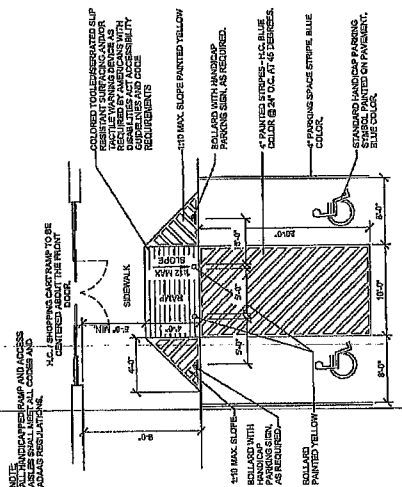


NO.	DATE	DESCRIPTION
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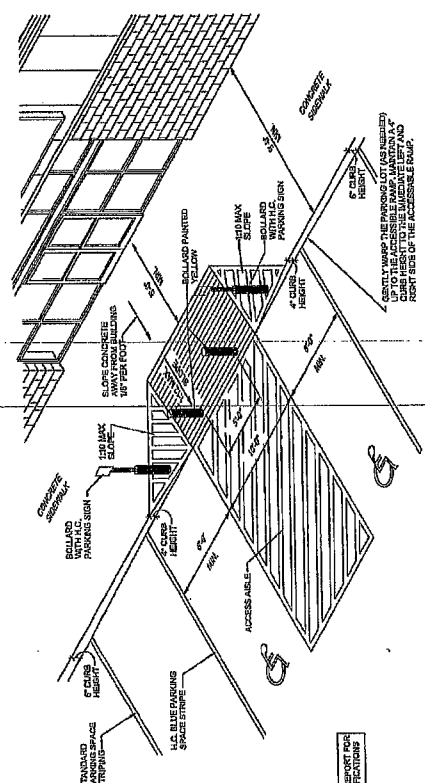


Verland ENGINEERING, LLC
 1926 SHERWIN, STE. 2001 REEF PLAZA, LAS VEGAS, NV 89102
 PH: (702) 252-5159 FAX: (702) 724-1152
 info@verlandeng.com

DOLLAR GENERAL NEVADA, IOWA

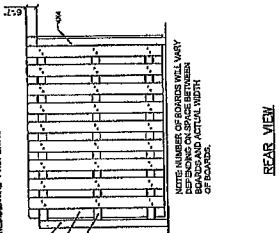


FRONT ENTRY PLAN
NOT TO SCALE

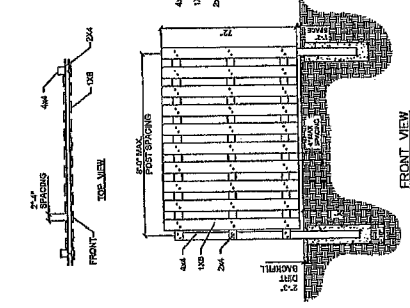


FRONT ENTRY ISOMETRIC
NOT TO SCALE

NOTE: THE CONTRACTOR SHALL VERIFY ALL ACCESS AND ADJACENT REGULATIONS.

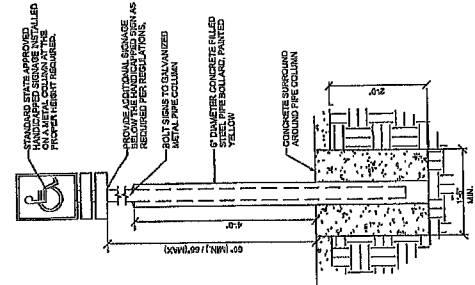


REAR VIEW

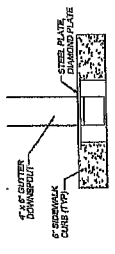


FRONT VIEW

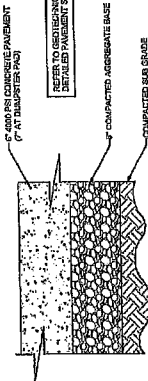
WOOD FENCE DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



GUTTER DOWNSPOUT SIDEWALK DETAIL
NOT TO SCALE



CONCRETE PAVEMENT SECTION
NOT TO SCALE

STANDARD STATE APPROVED YELLOW PAVEMENT MARKING SHALL BE USED FOR ALL PARKING AND DRIVEWAYS.

REQUIRE ADDITIONAL SCENIC DESIGN REVIEW AS REQUIRED FOR REGULATIONS.

4\"/>

CONCRETE SURROUND AROUND THE COLUMN

4\"/>

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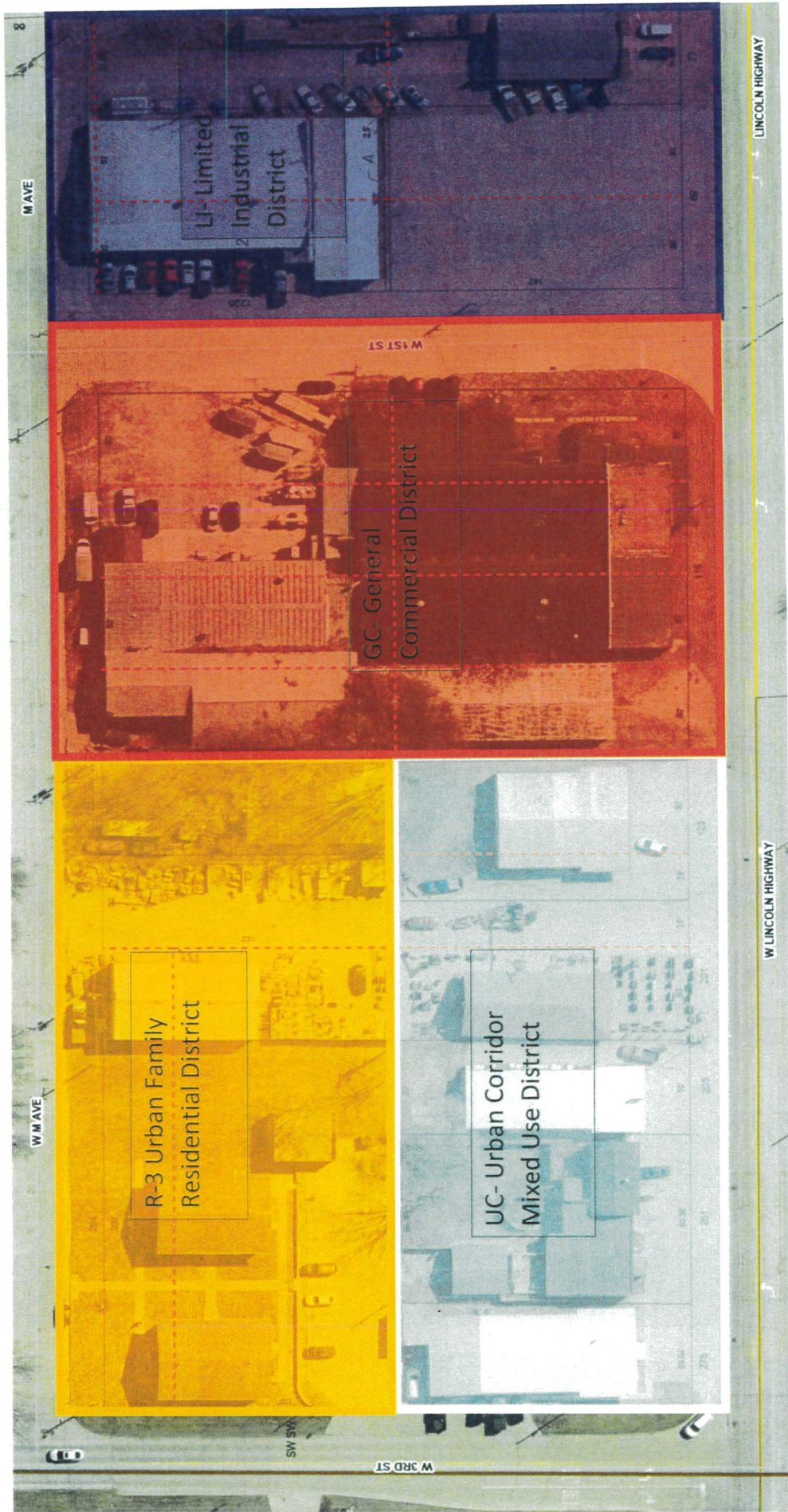
SIDE ENTRY DETAIL
NOT TO SCALE

SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM OIL AND GREASE. ALL SURFACES SHOULD BE COMPACTED AND FINISHED TO THE REQUIRED FINISH AND CURB HEIGHT TO THE TANGENT POINT AND RIGHT SIDE OF THE ACCESSIBLE RAMP.

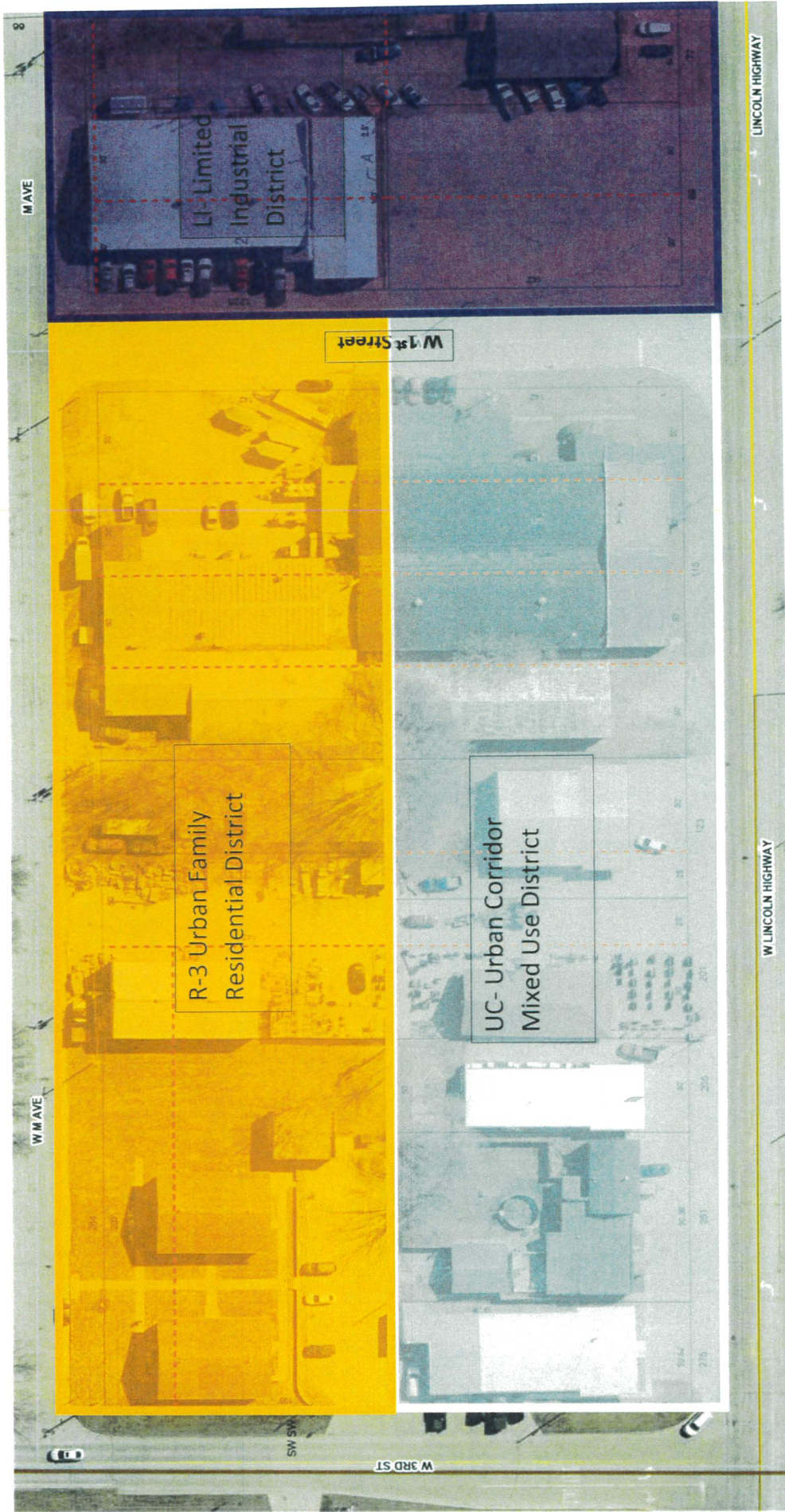
STANDARD STATE APPROVED YELLOW PAVEMENT MARKING SHALL BE USED FOR ALL PARKING AND DRIVEWAYS.

REQUIRE ADDITIONAL SCENIC DESIGN REVIEW AS REQUIRED FOR REGULATIONS.

4\"/>



Purposed Rezoning



Current Zoning

LOCALiQ

Ames Tribune

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PROOF OF PUBLICATION

CITY CLERK'S OFFICE
City Of Nevada
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STATE OF WISCONSIN, COUNTY OF BROWN

The Nevada Journal, a weekly newspaper printed and published at Ames, Story County, Iowa, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspaper in the issues dated:

03/07/2024

and that the fees charged are legal.

Sworn to and subscribed before on 03/07/2024

Legal Clerk

Notary, State of WI County of Brown

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AMY KOKOTT
Notary Public
State of Wisconsin

ORDINANCE NO. 1050 (2023/2024)

AN ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF NEVADA, IOWA, BY REZONING THE PROPERTY AT 115 WEST LINCOLN HIGHWAY, WEST FIELD DEVELOPMENT LLC FROM UC/R-3 (URBAN CORRIDOR/URBAN FAMILY RESIDENTIAL) TO GC (GENERAL COMMERCIAL).

Be it enacted by the City Council of the City of Nevada, Iowa; SECTION 1. ZONING AMENDMENT. The Zoning Map of the City of Nevada, Iowa, is hereby amended by rezoning parcel of land owned by West Field Development and located within the corporate limits of the City of Nevada, Iowa which is legally described as:

Lot Three (3), Four (4), Five (5), Six (6), Thirteen (13), Fourteen (14), Fifteen (15), and Sixteen (16) in West Park Addition to Nevada, Iowa and shall be rezoned from a "UC/R-3" (Urban Corridor/Urban Family Residential) District, to a "GC" (General Commercial) District.

SECTION 2. NOTATION. The City Zoning Official shall record the ordinance number and date of passage of this Ordinance on the Official Zoning Map as required by Section 165.09(5)(B), Code of Ordinances of the City of Nevada, Iowa, 2006 as amended.

SECTION 3. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. SEVERABILITY CLAUSE. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in full force and effect from and after its final passage, approval and publication as provided by law.

PASSED AND APPROVED this 12th day of February, 2024, first reading.

PASSED AND APPROVED this 26th day of February, 2024, second reading

PASSED AND WAIVED this 26th day of February, 2024, third and final reading. Enacted upon publication.

March 7 2024

LIOW0067177