



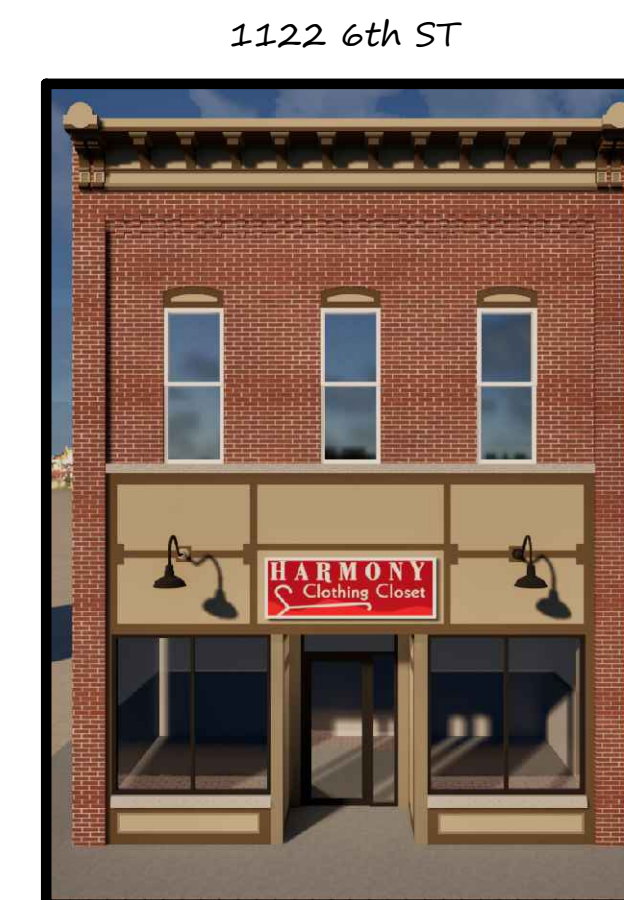
1104 6th ST



1104 6th ST



1110 6th ST



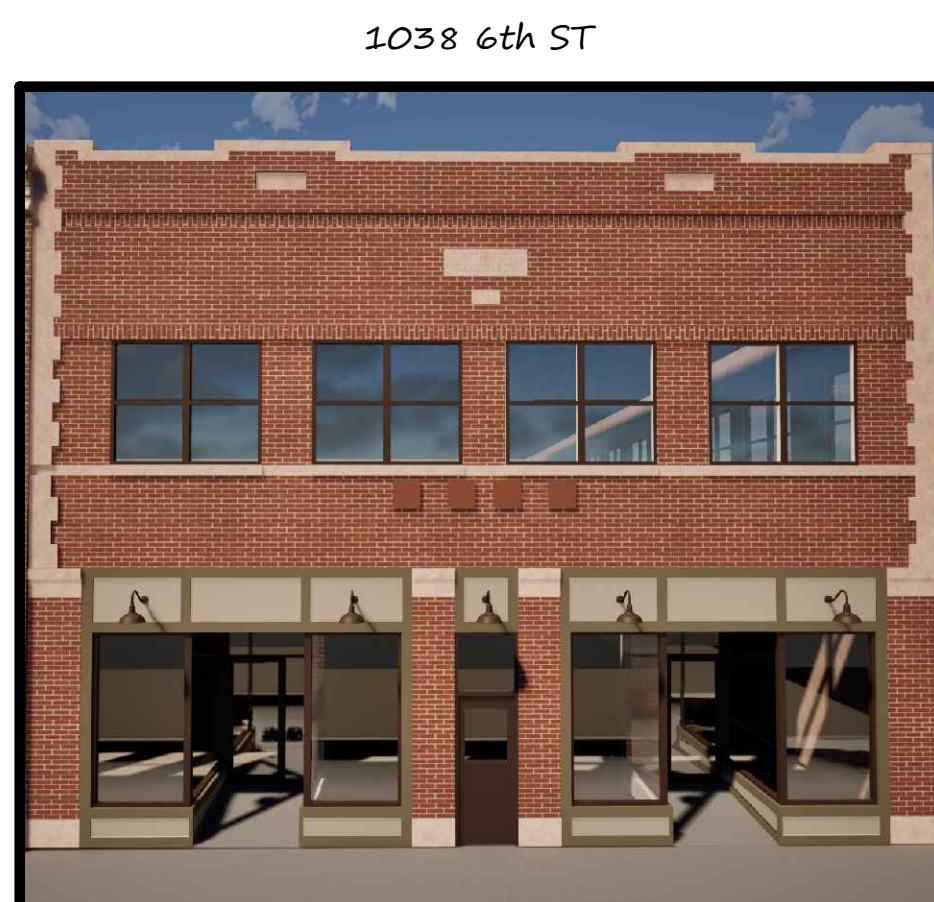
1122 6th ST



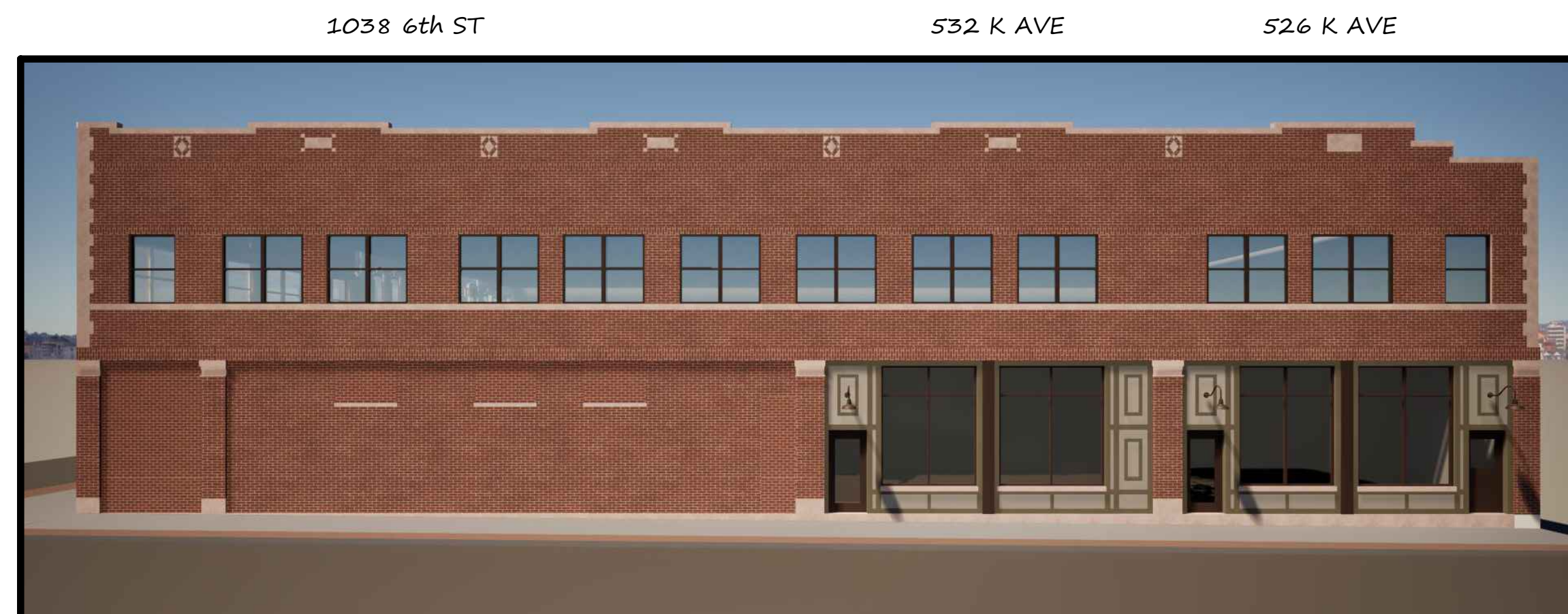
1028 6th ST



1032 6th ST



1038 6th ST



1038 6th ST

532 K AVE

526 K AVE

PROPOSED RENDERINGS

* RENDERINGS ARE A REPRESENTATION OF THE BUILDING TO SHOW GENERAL DESIGN INTENT. NOT TO BE USED TO BUILD FROM.

GENERAL NOTES:

- "PROVIDE" MEANS "FURNISH AND INSTALL". "INSTALL" UNLESS OTHERWISE NOTED MEANS "FURNISH AND INSTALL".
- GENERAL CONTRACTOR TO ENSURE ALL SUBCONTRACTORS BID AND PERFORM ALL WORK CALLED OUT. SUBCONTRACTORS ARE TO READ ALL SHEETS IN THIS SET TO ENSURE FULL COMMUNICATION NEEDED BETWEEN PARTIES.
- IT IS POSSIBLE THAT THE ACTUAL CONSTRUCTION METHOD DIFFERS FROM WHAT IS SHOWN. DETAILS WERE CREATED FROM CURRENT AND HISTORICAL IMAGES OF EACH BUILDING. ANY MISSING INFORMATION WAS FILLED IN USING HISTORIC CONSTRUCTION STANDARDS.
- CONTRACTOR MAY CHOSE WHICH END THE PROJECT BEGINS WITH, BUT DEMOLITION AND CONSTRUCTION MUST CONTINUE DOWN THE SAME SIDE OF THE SQUARE.
- CONTRACTOR MUST PROVIDE SCAFFOLDING AND PROTECTION OVER THE SIDEWALK DURING CONSTRUCTION.
- CONTRACTOR MUST PROVIDE ONE FRONT ENTRY ON TWO ENTRY FRONT BUILDINGS AT ALL TIMES.
- CONTRACTOR TO SECURE EACH BUILDING UNDER CONSTRUCTION EACH NIGHT.
- CONTRACTOR TO BUILD A CONSTRUCTION BARRIER INSIDE EACH BUILDING WITH DUST CONTROL. CONTRACTOR SHALL PAY FOR CLEANING IF BARRIER WAS NOT INSTALLED. BUSINESSES WILL REMAIN OPEN DURING NORMAL WORKING HOURS.
- SEE SPEC BOOK FOR ASBESTOS REPORTS. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTRACT OUT ABATEMENT.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO HAVE ALL WORKERS KNOW AND FOLLOW ALL OSHA STANDARDS.
- THE OWNER WILL PROVIDE UTILITY COSTS DURING CONSTRUCTION WITH DIRECT COMMUNICATIONS BETWEEN CONTRACTOR AND OWNER.
- DIMENSIONS ARE NOT EXACT. VERIFY ALL DIMENSIONS BEFORE ANY PRODUCT IS ORDERED.
- ALL EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS AT 16" ON CENTER WITH R-21 BATT INSULATION, 1/2" OSB SHEATHING W/ APPROVED VAPOR BARRIER, AND 1/2" CEMENT BOARD ON THE EXTERIOR, TYP.
- VERIFY CONDITION OF EXTERIOR WALL FRAMING, PROVIDE NEW MATCHING SAME DIMENSION IF NEEDED AT 16" ON CENTER, WITH R-21 BATT INSULATION, 1/2" OSB SHEATHING W/ APPROVED VAPOR BARRIER, REFER TO SECTIONS, TYP.
- 3-2 x 12 HEADERS AT ALL EXTERIOR STRUCTURAL OPENINGS UNLESS NOTED OTHERWISE. ALL HEADER LUMBER SHALL BE CLEAR OF SPLITS & CHECKS TO ATTAIN THE DESIGN VALUES USED IN DETERMINING ALLOWABLE HORIZONTAL SHEAR.
- 2-2 x 12 HEADERS AT ALL INTERIOR STRUCTURAL OPENINGS UNLESS NOTED OTHERWISE. ALL HEADER LUMBER SHALL BE CLEAR OF SPLITS & CHECKS TO ATTAIN THE DESIGN VALUES USED IN DETERMINING ALLOWABLE HORIZONTAL SHEAR.
- ALL BEAMS SHALL BE SIZED BY OTHERS UNLESS OTHERWISE NOTED, TYP. ALL FLOOR FRAMING SHALL BE DESIGNED FOR MINIMAL DEFLECTION TO REDUCE BOUNCING, TYP.
- VERIFY ALL ROUGH OPENINGS FOR WINDOWS AND DOORS.
- ALL NEW UPPER LEVEL WINDOWS SHALL BE BY MARVIN OR AN APPROVED WINDOW BY ARCHITECT. SEE DRAWINGS FOR WINDOW TYPES AND OPTIONS. PROVIDE CUT SHEETS, TYP. VERIFY OPENING SIZES WITH MANUFACTURER, INTERIOR FINISH PER BUILDING.
- ALL NEW WINDOWS ARE TO FIT IN THE EXISTING BRICK TO BRICK OPENING, FRAMING OPENING TO FIT SMALLER WINDOW IS NOT ACCEPTED.
- STOREFRONT DOOR INSTALLER TO PROVIDE AND INSTALL CONTINUOUS HINGES ON ALL DOORS OVER 36" WIDE.

ELECTRICAL NOTES:

- "PROVIDE" MEANS "FURNISH AND INSTALL". "INSTALL" UNLESS OTHERWISE NOTED MEANS "FURNISH AND INSTALL".
- THIS PROJECT MUST MEET IOWA GREEN STREETS CRITERIA. SEE SPECIFICATION BOOKLET FOR REQUIREMENTS. SOME REQUIREMENTS MAY BE DUPLICATED IN THE BODY OF THE SPEC. BOOK. GREEN STREET REQUIREMENTS SHALL TAKE PRECEDENCE OVER ANY DISCREPANCIES.
- ELECTRICIAN TO PROVIDE AND INSTALL PHOTOELECTRIC SWITCHES ON EACH BUILDING RECEIVING EXTERIOR LIGHTING.
- ELECTRICIAN SHALL ASSUME GROUNDED ROME WIRE IS SUPPLIED TO THE FRONT OF THE BUILDING FOR ALL EXTERIOR LIGHTS.
- ELECTRICIAN SHALL PROVIDE ELECTRICAL OUTLETS PER CODE ABOVE NEW STOREFRONT GLASS WINDOWS.
- ELECTRICIAN RESPONSIBLE FOR SUPPLYING ALL LIGHTS SHOWN ON DOCUMENTS.
- ELECTRICIAN IS RESPONSIBLE FOR FINAL LIGHT DESIGN AND CODE COMPLIANCE.
- ELECTRICAL CONTRACTOR SHALL PROVED LED, UL LISTED, LIGHT BULBS IN ALL NEW/ REUSED FIXTURES. BULBS ARE TO BE FROM CREE, SYLVANIA, OR FEIT.
- ELECTRICAL CONTRACTOR SHALL INSTALL INTERIOR EMERGENCY LIGHTING & EXIT SIGNS ABOVE EACH STOREFRONT DOOR WHEN THE STOREFRONT GLASS IS BEING REPLACED.
- IF NOT CALLED OUT ON FACADE - ELECTRICAL CONTRACTOR SHALL REMOVE, SALVAGE (IF IN GOOD CONDITION) ALL ELECTRICAL OUTLETS AND SWITCHES ON INTERIOR OF FACADE. REINSTALL OUTLETS AND SWITCHES (PROVIDE NEW AS NEEDED MATCHING DESIGN AND COLOR). VERIFY LOCATIONS WITH OWNER, TYP.

MASONRY NOTES:

- "PROVIDE" MEANS "FURNISH AND INSTALL". "INSTALL" UNLESS OTHERWISE NOTED MEANS "FURNISH AND INSTALL".
- THIS PROJECT MUST MEET IOWA GREEN STREETS CRITERIA. SEE SPECIFICATION BOOKLET FOR REQUIREMENTS. SOME REQUIREMENTS MAY BE DUPLICATED IN THE BODY OF THE SPEC. BOOK. GREEN STREET REQUIREMENTS SHALL TAKE PRECEDENCE OVER ANY DISCREPANCIES.
- ON ANY MASONRY THAT IS BEING REPLACED, CMU BLOCK MAY BE USED BEHIND FACE BRICK. VERIFY NO CMU BLOCK IS VISIBLE FROM FRONT OR SIDE.
- BRICK BRAND AND COLOR ARE SUBJECT TO CHANGE ON FINAL DESIGN FOR ALL FACADES.
- FOR BUILDINGS THAT ARE TO BE TUCKPOINTED & REPAINTED, THE MASON SHALL REMOVE EXISTING MORTAR & BLOW CLEAN THE JOINT. THE PAINTER SHALL USE A NON-METAL SCRAPER TO REMOVE FLAKING PAINT & REPAINT BRICK. THE MASON SHALL THEN REPOINT THE MORTAR & PROVIDE A CLEAN SURFACE ONCE FINISHED.
- VERIFY CONDITION AND 6" OF BEARING OF ALL STEEL LINTELS. REPLACE AS NEEDED.
- ALL NEW SILLS SHALL HAVE A 1:12 SLOPE MIN. & DRIP EDGE FOR WATER DRAINAGE.
- TUCKPOINT ALL AREAS WHERE MORTAR SAMPLES WERE TAKEN.
- THE MASON SHALL INFORM THE GENERAL CONTRACTOR & ARCHITECT IF EXISTING LINTELS ARE DETERIORATING. A CHANGE ORDER WILL BE PROVIDED TO REPLACE DETERIORATING LINTELS WITH NEW FOR THE LENGTH OF THE OPENING & 6" OF BEARING ON EACH SIDE.
- WHILE REMOVING MORTAR, ANY BRICKS THAT ARE OVER GROUND AT HEAD

SUPPLEMENTARY NOTES:

- VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING WORK.
- VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH APPROPRIATE TRADES.
- PROVIDE ALL NECESSARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE STAMP OF AN ENGINEER REGISTERED IN THE STATE OF IOWA.
- DETAILS ON THE DRAWINGS ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE DESIGN DRAWINGS.
- NO MATERIAL SUBSTITUTIONS OR DESIGN CHANGES SHALL BE MADE TO THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN PERMISSION OF THE OWNER.

NPS BRIEF 9 SUMMARY:

- CLASS 1 REPAIR
 1. PAINT REMOVAL
 2. REPAIR OF SASH AS CALLED OUT (OR IF DISCOVERED)
 3. REGLAZING OF WINDOW / REPLACE BROKEN AS SHOWN
 4. REPAIR TO FRAME AS CALLED OUT (OR IF DISCOVERED)
 5. WEATHERSTRIPPING
 6. PRIMING & PAINTING
- CLASS 2 REPAIR
 1. DRY THE WOOD
 2. TREAT DECAYED AREA WITH A FUNGICIDE
 3. WATERPROOF WITH 2 OR 3 APPLICATIONS OF BOILED LINSEED OIL
 4. FILL CRACKS & HOLES WITH PUTTY FOR LARGE HOLES USE 2 PART EPOXY PATCHING COMPOUND BY ABATRON OR APPROVED EQUAL.
 5. AFTER A "SKIN" FORMS ON THE PUTTY, PAINT THE SURFACE.
 6. FOLLOW LIST & SEE SPECS FOR CLASS 1 REPAIR.
- CLASS 3 REPAIR
 1. MAKE NECESSARY REPAIRS AS CALLED OUT USING STABILIZATION & SPLICING TECHNIQUES. MATCH PROFILE OF EXISTING FRAMING. (OR IF DISCOVERED)
 2. FOLLOW LIST & SEE SPECS FOR CLASS 1 REPAIR.

SITE DESCRIPTION:

PROPERTY OWNER:
 CITY OF NEVADA
 DOWNTOWN FACADE PROGRAM

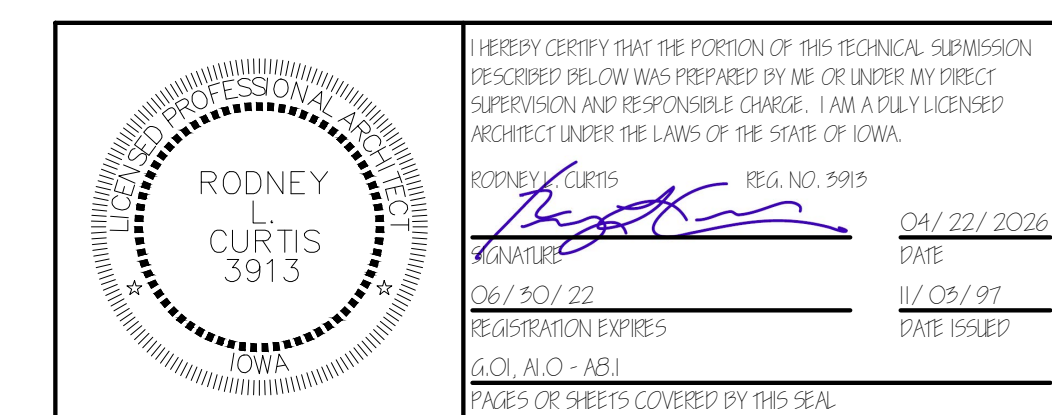
PARTICIPATING ADDRESSES:
 1122 6th St, 1110 6th St, 1104 6th St, 1038 6th St, 1032 6th St, 1028 6th St, 532 K Ave, 526 K Ave.

PLANNED USE:
 COMMERCIAL BUILDING FACADES

SITE ADDRESS:
 DOWNTOWN NEVADA, IOWA 50201

INDEX OF DRAWINGS:

NO.	DESCRIPTION
G0.1	GENERAL NOTES
A1.0	1122 6th ST
A1.1	1122 6th ST
A2.0	1110 6th ST
A2.1	1110 6th ST
A3.0	1104 6th ST
A3.1	1104 6th ST
A4.0	1038 6th ST
A4.1	1038 6th ST
A4.2	1038 6th ST
A5.0	1032 6th ST
A5.1	1032 6th ST
A6.0	1028 6th ST
A6.1	1028 6th ST
A7.0	532 K AVE
A7.1	532 K AVE
A8.0	526 K AVE
A8.1	526 K AVE



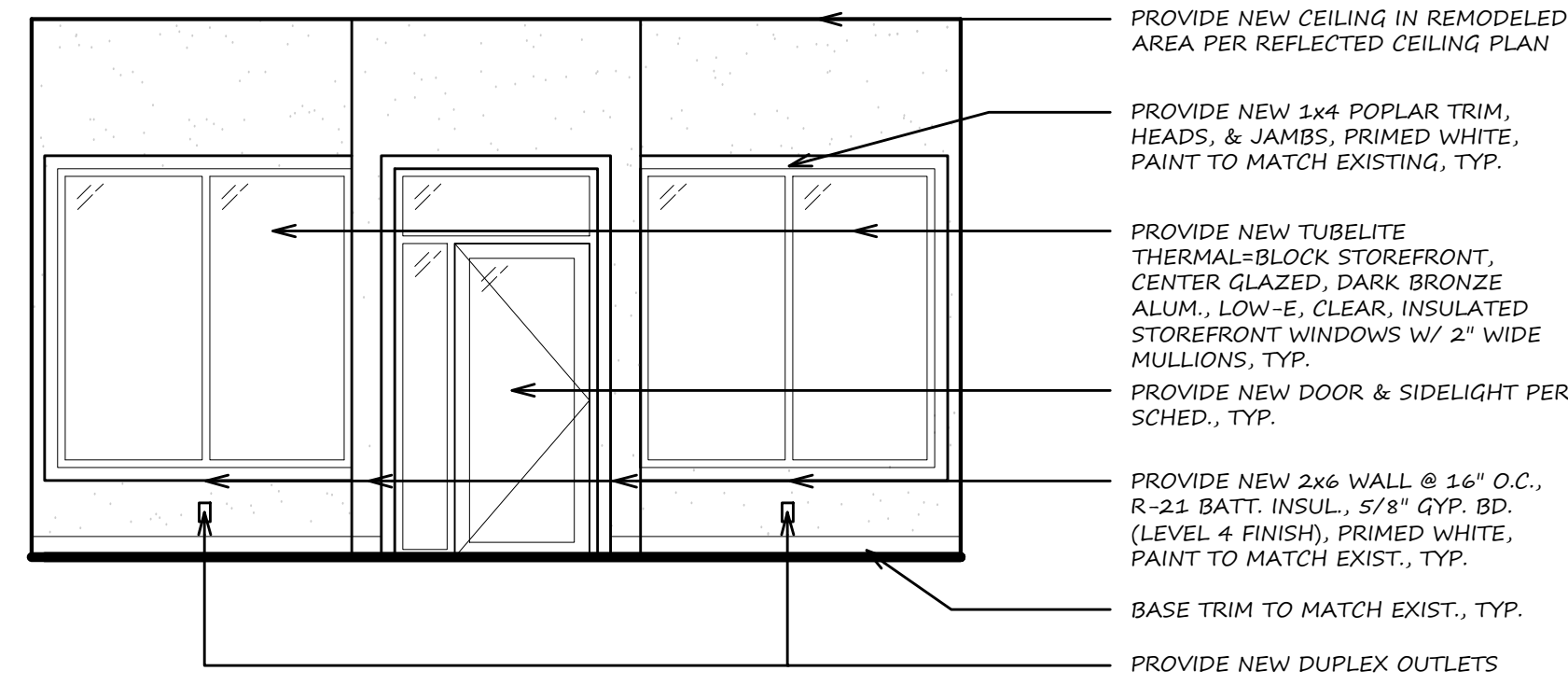


EXISTING PHOTOGRAPH

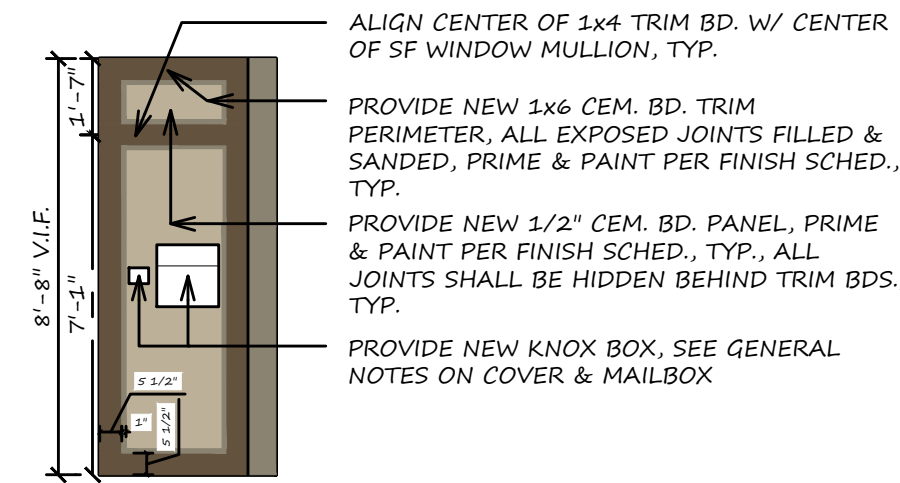


PROPOSED RENDERING

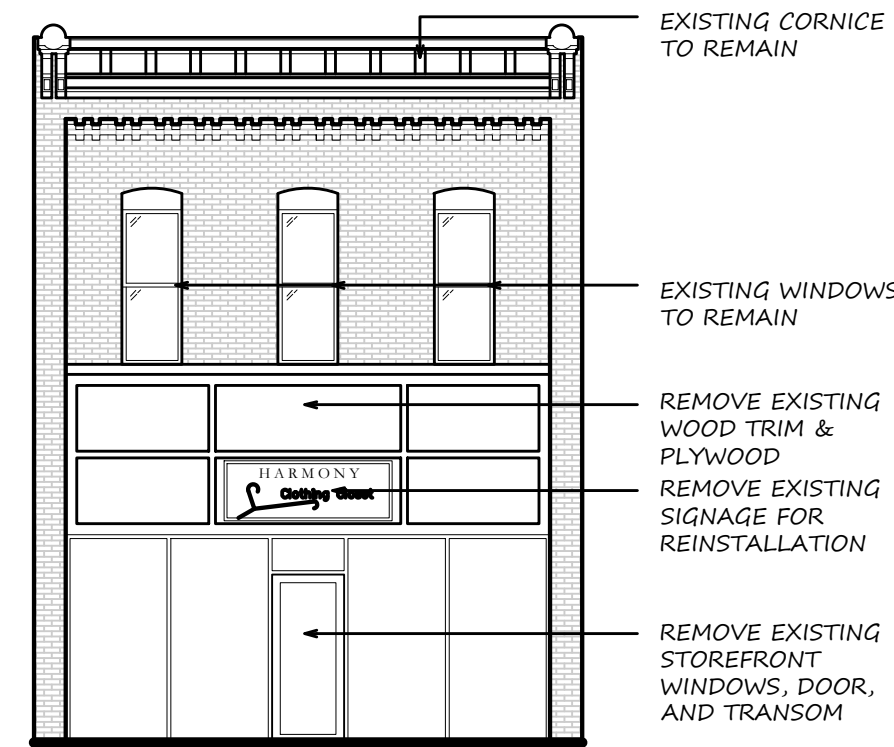
* RENDERINGS ARE A REPRESENTATION OF THE BUILDING TO SHOW * GENERAL DESIGN INTENT. NOT TO BE USED TO BUILD FROM.



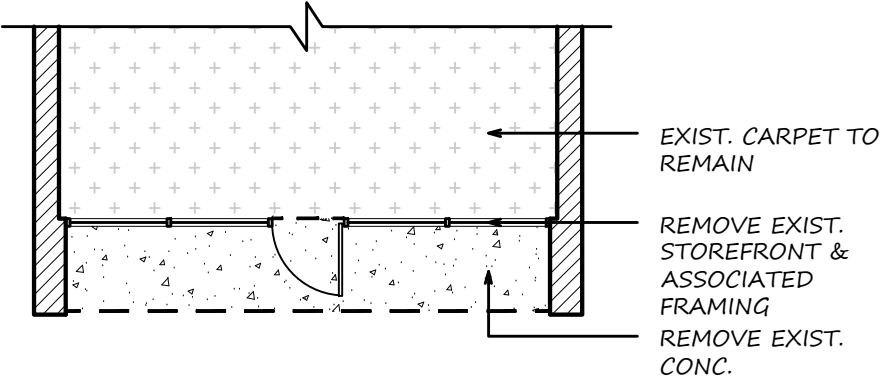
1 INTERIOR ELEVATION
1/4" = 1'-0"



2 EXTERIOR ELEV.
1/4" = 1'-0"



EXIST. ELEVATION
1/8" = 1'-0"



EXIST. FLOOR PLAN
1/8" = 1'-0"

NORTH



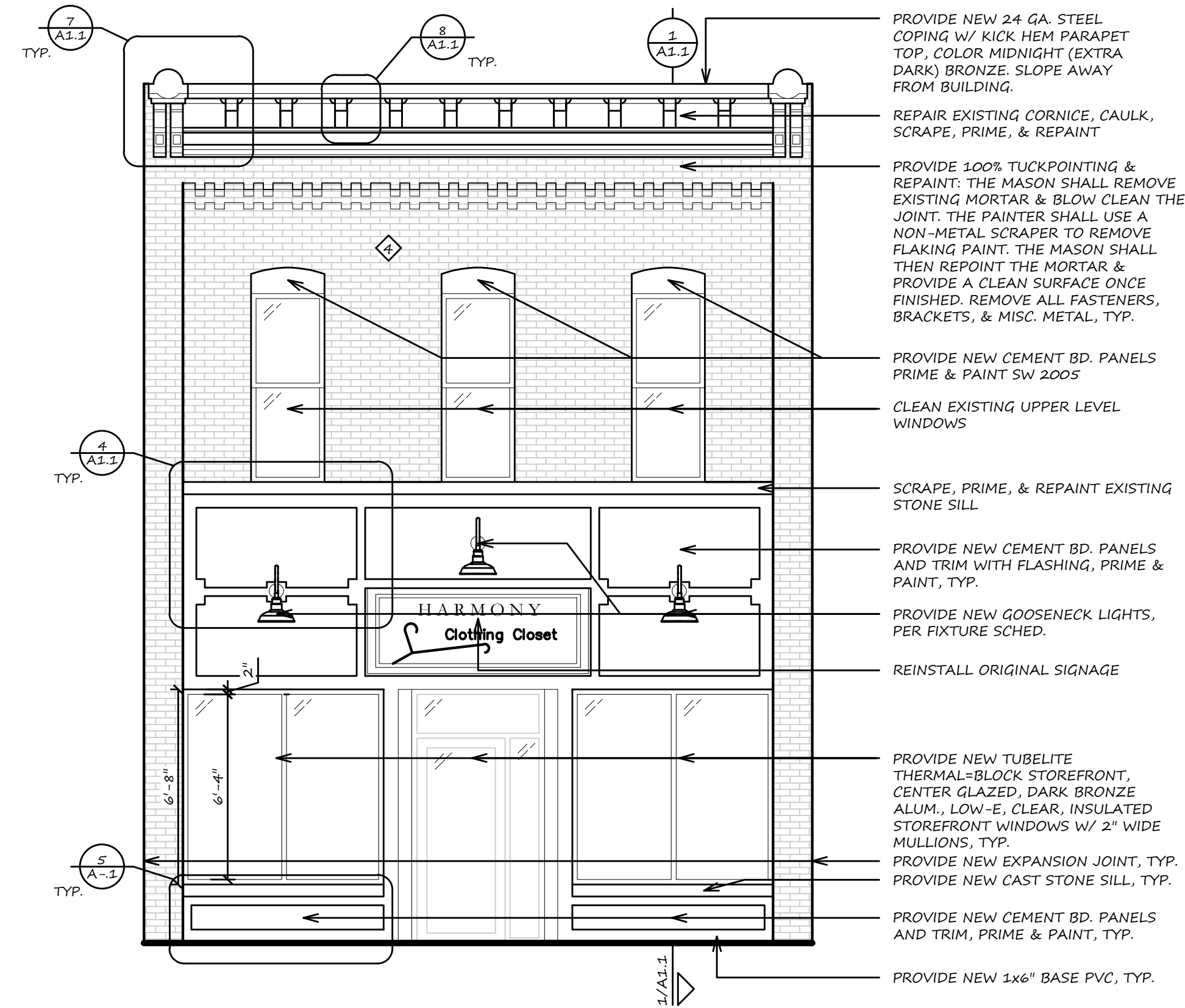
1122 6th ST. LIGHT FIXTURES	
FIXTURE #	LOCATION
RP LIGHTING 8739-08-90-4K	WATER PROOF CEILING MOUNT
RP LIGHTING RXEL42RGW	CEILING MOUNTED EMERGENCY EXIT SIGN W/ LIGHT
BARN LIGHT ELECTRIC COMPANY, THE ORIGINAL WAREHOUSE GOOSENECK LIGHT BLE-FM-WHS1.8-600-G22-NA-NA-E26 DECORATIVE BACKING PLATE COVER AND CLEAR GLASS	WATER PROOF GOOSENECK WALL SCENCE

LIGHTING SCHEDULE

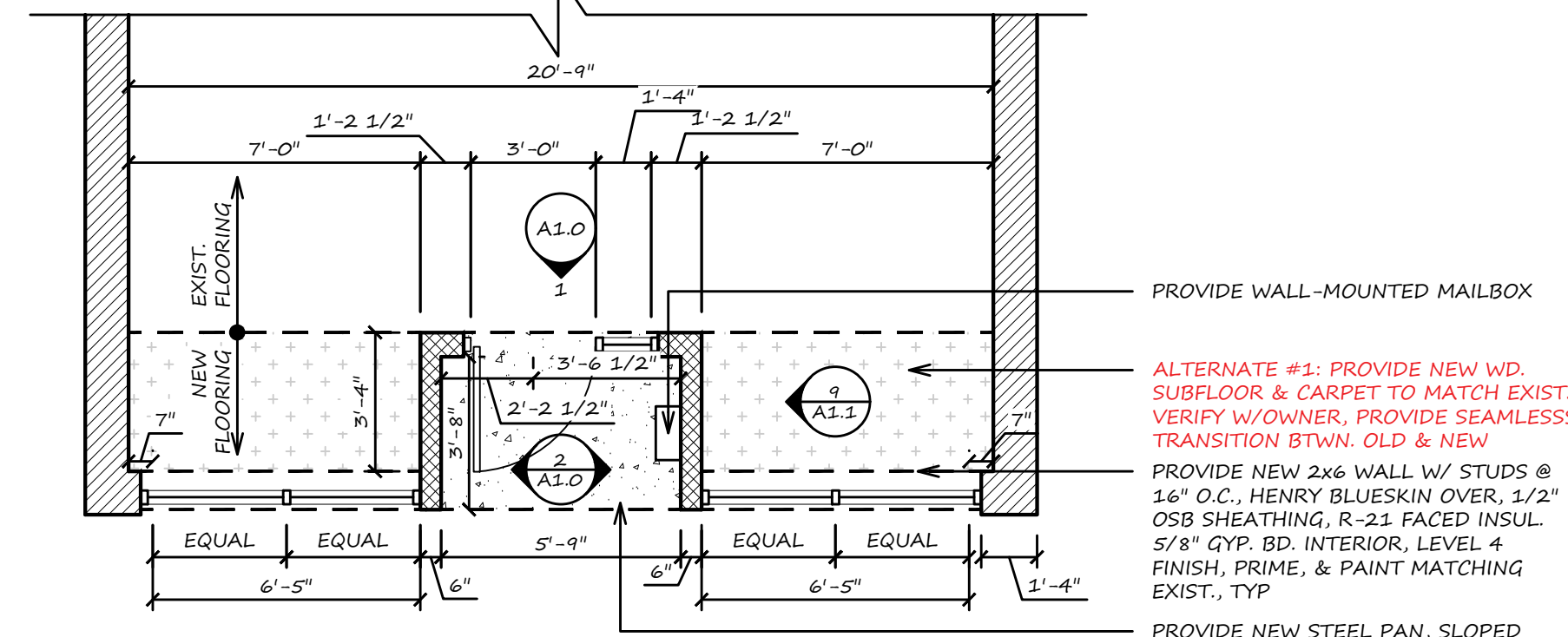
1122 6th ST. FINISH SCHEDULE					
NO.	COLOR	PRIMER	FINISH	COATS	REMARKS
1	SW 7034	EXTERIOR	SATIN	2	1, 3, 6
2	SW 6172	EXTERIOR	SATIN	2	1, 3, 6
3	SW 7543	EXTERIOR	SATIN	2	2, 4, 7
4	SW 2802	EXTERIOR	SATIN	2	5

FINISH SCHEDULE

- REMARKS:
- COLOR USED FOR TRIM AT SOFFIT
 - COLOR USED FOR PANELS AT SOFFIT
 - COLOR USED FOR WALL TRIM
 - COLOR USED FOR WALL PANELS
 - COLOR USED FOR BRICK COLOR
 - COLOR USED FOR TRIM AT KNEE WALL
 - COLOR USED FOR PANELS AT KNEE WALL
 - COLOR USED FOR SIGN LETTERS
 - COLOR USED FOR INTERIOR WALLS (MATCH EXIST.)
 - COLOR USED FOR INTERIOR TRIM (MATCH EXIST.)

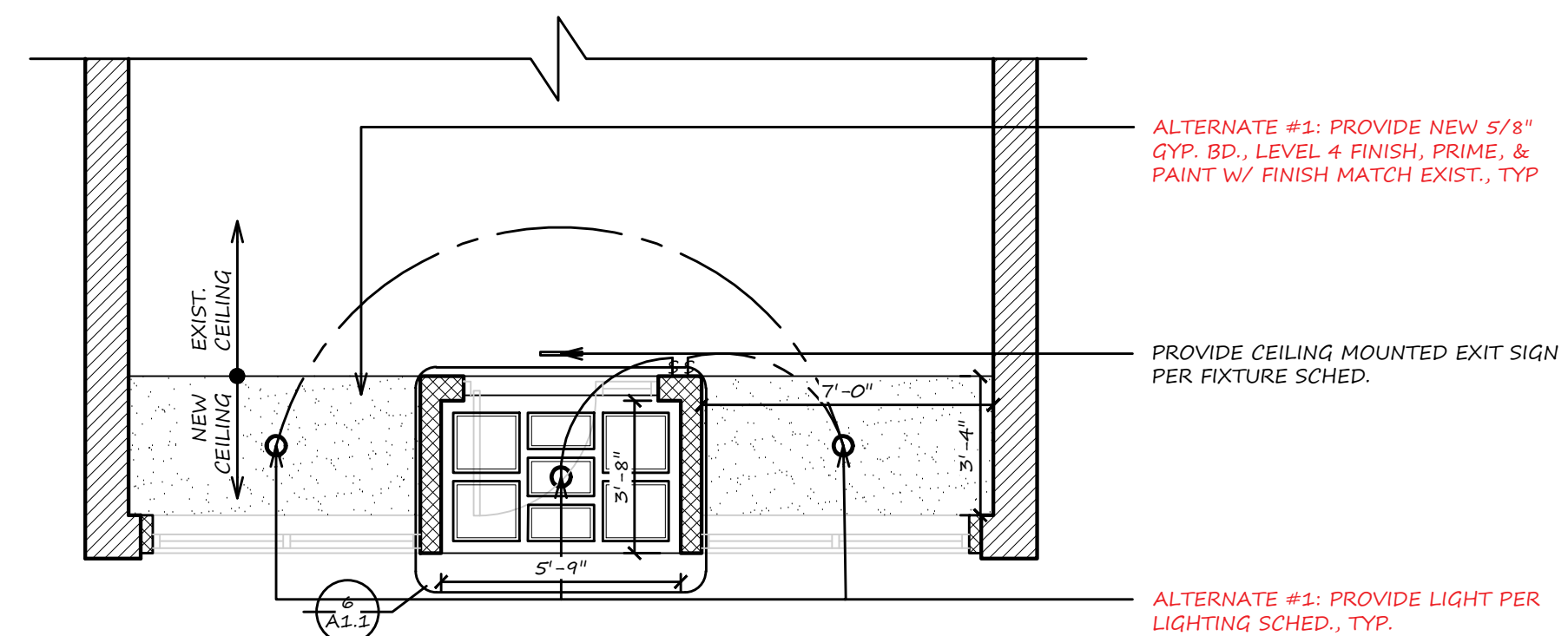


PROPOSED ELEVATION
1/4" = 1'-0"



PROPOSED FLOOR PLAN
1/4" = 1'-0"

NORTH



PROPOSED REF. CEILING PLAN
1/4" = 1'-0"

NORTH



WWW.CURTISARCHITECTURE.COM
3408 WOODLAND AVE.
SUITE 302
WEST DES MOINES, IA 50266
641 814-1500

NEVADA FACADE IMPROVEMENTS

1122 6TH ST, NEVADA, IOWA, 50201

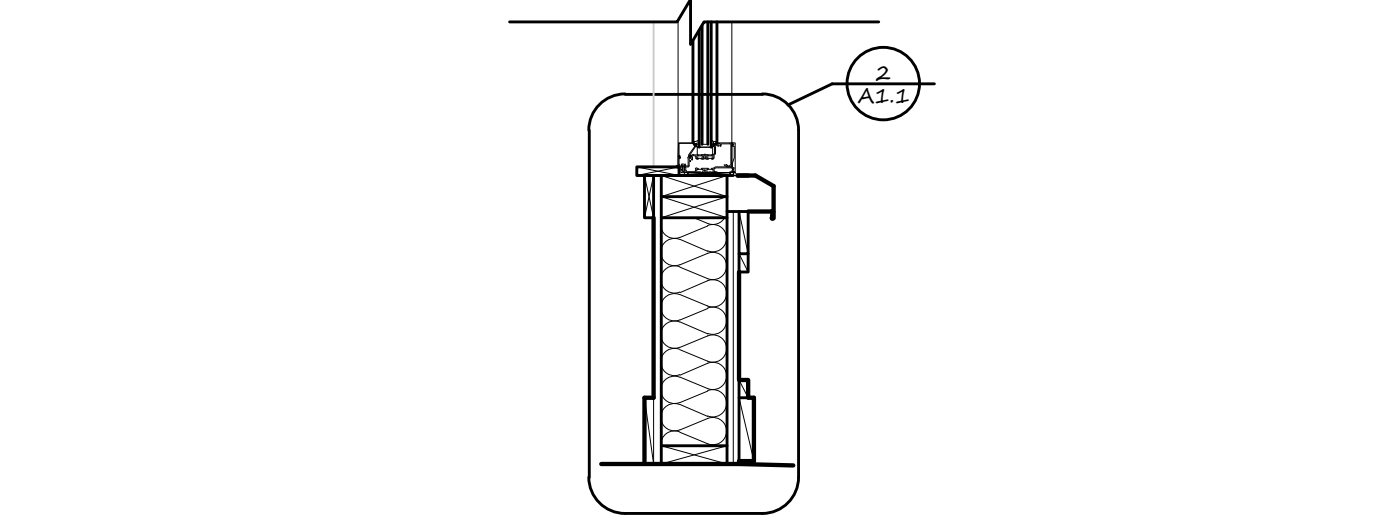
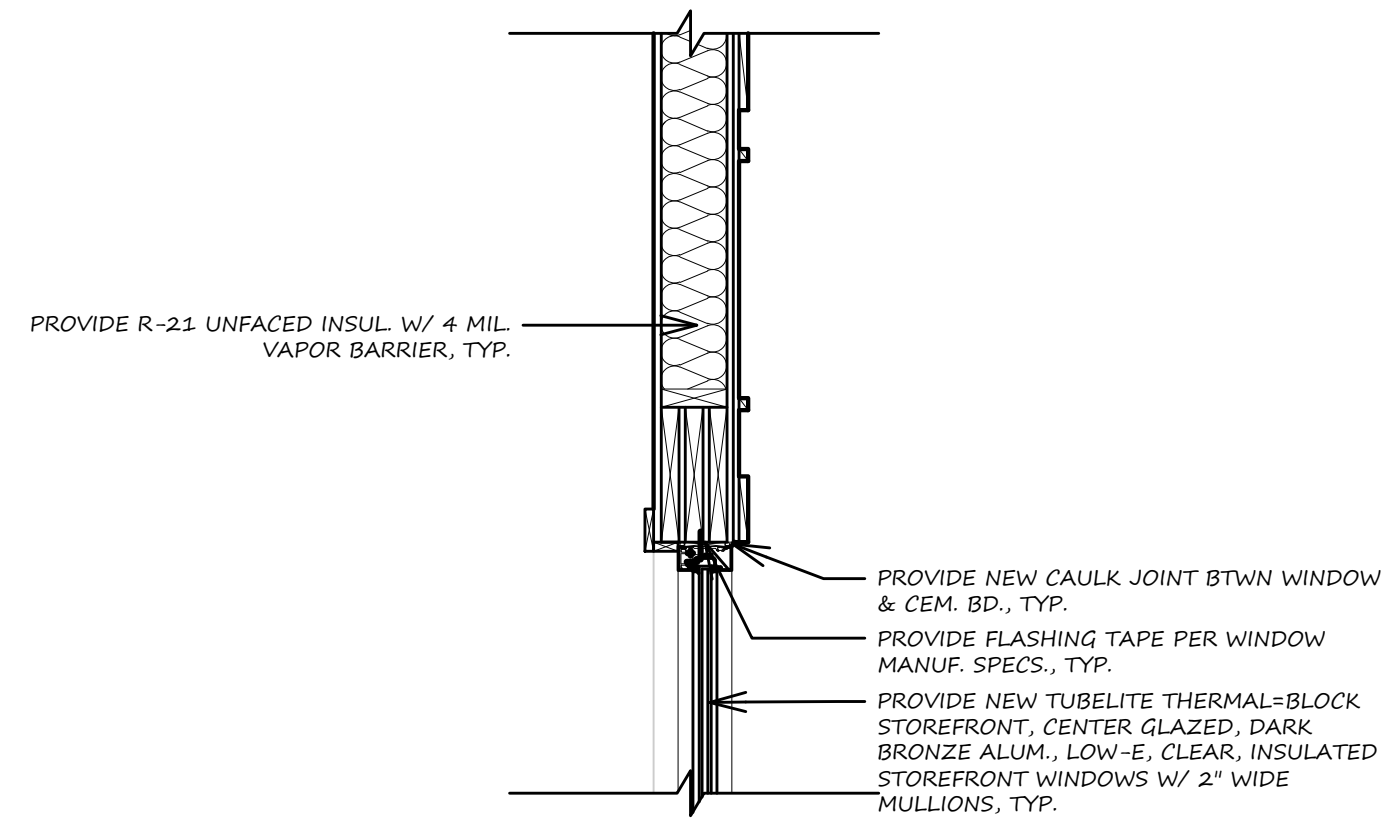
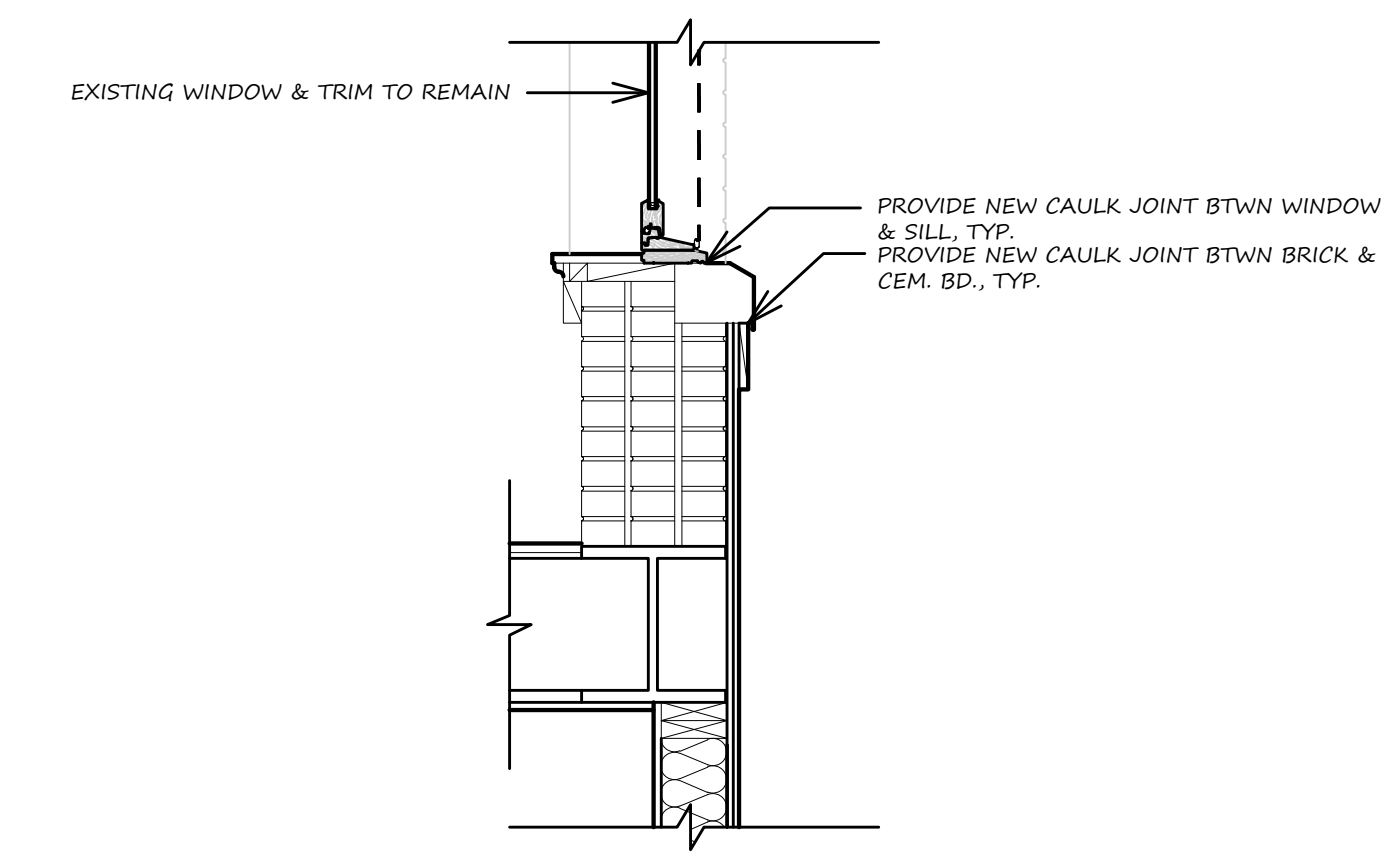
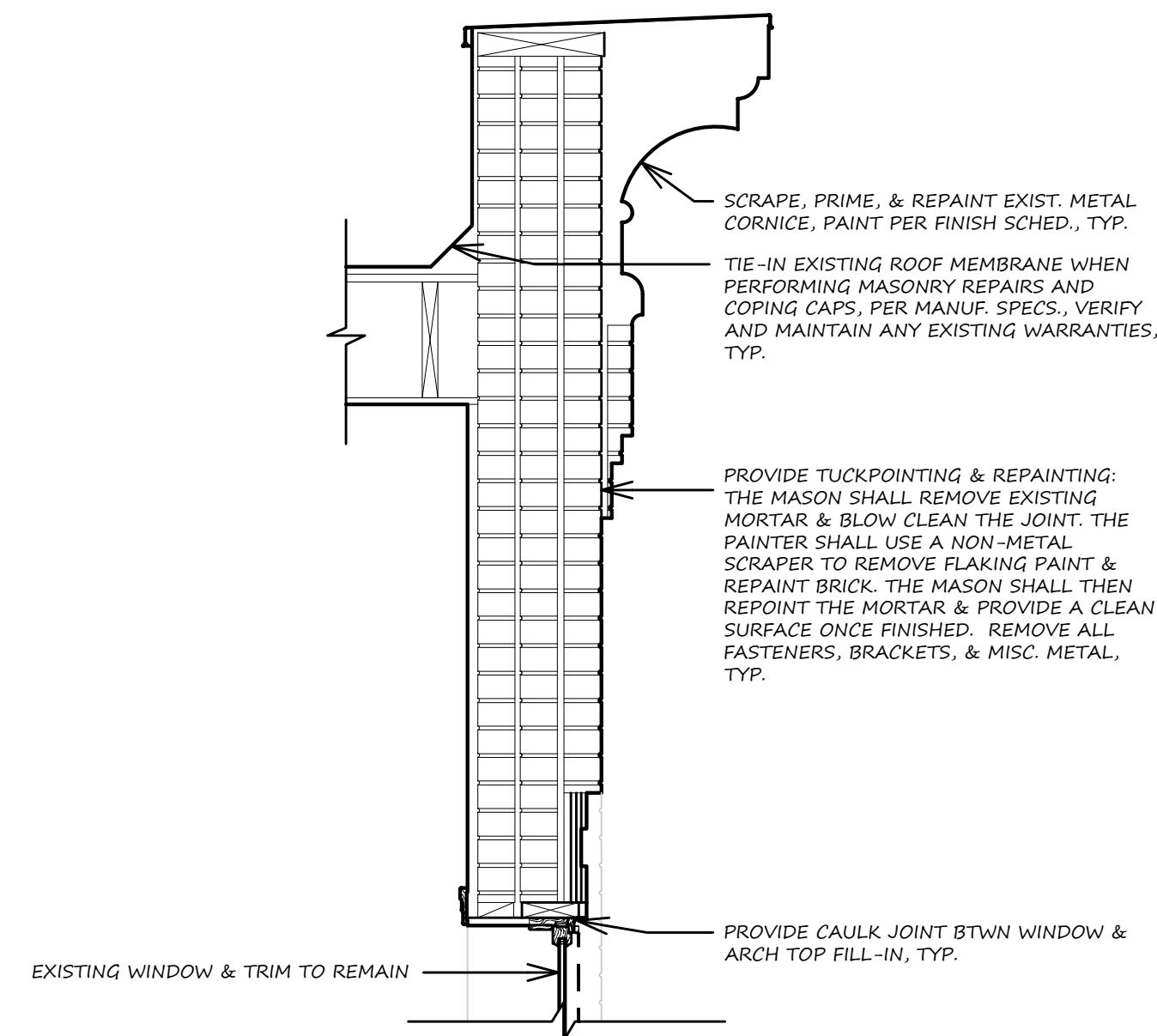
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REVISIONS:

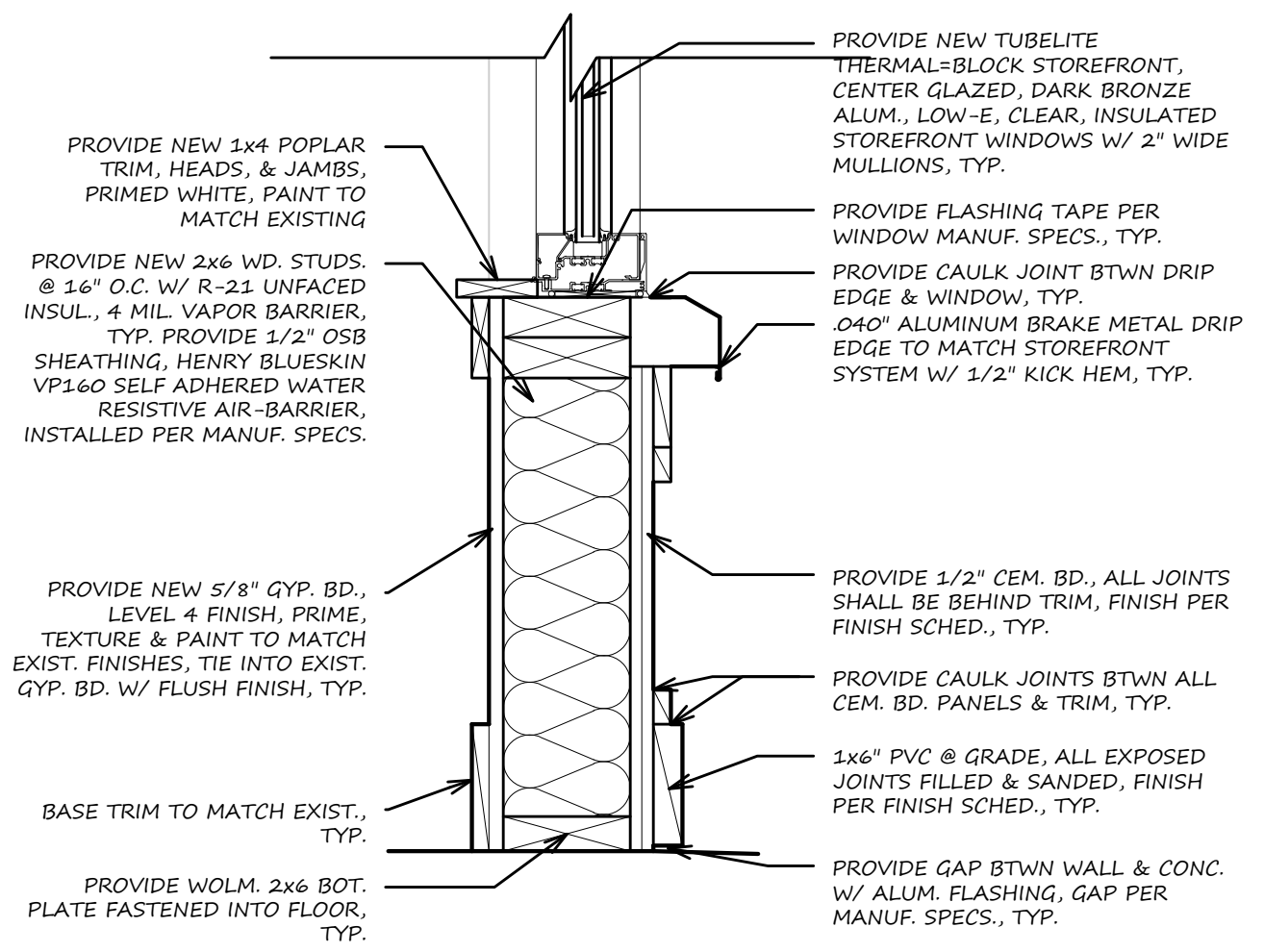
PROJECT # 2503

PLANS, ELEVATIONS, & SCHEDULES

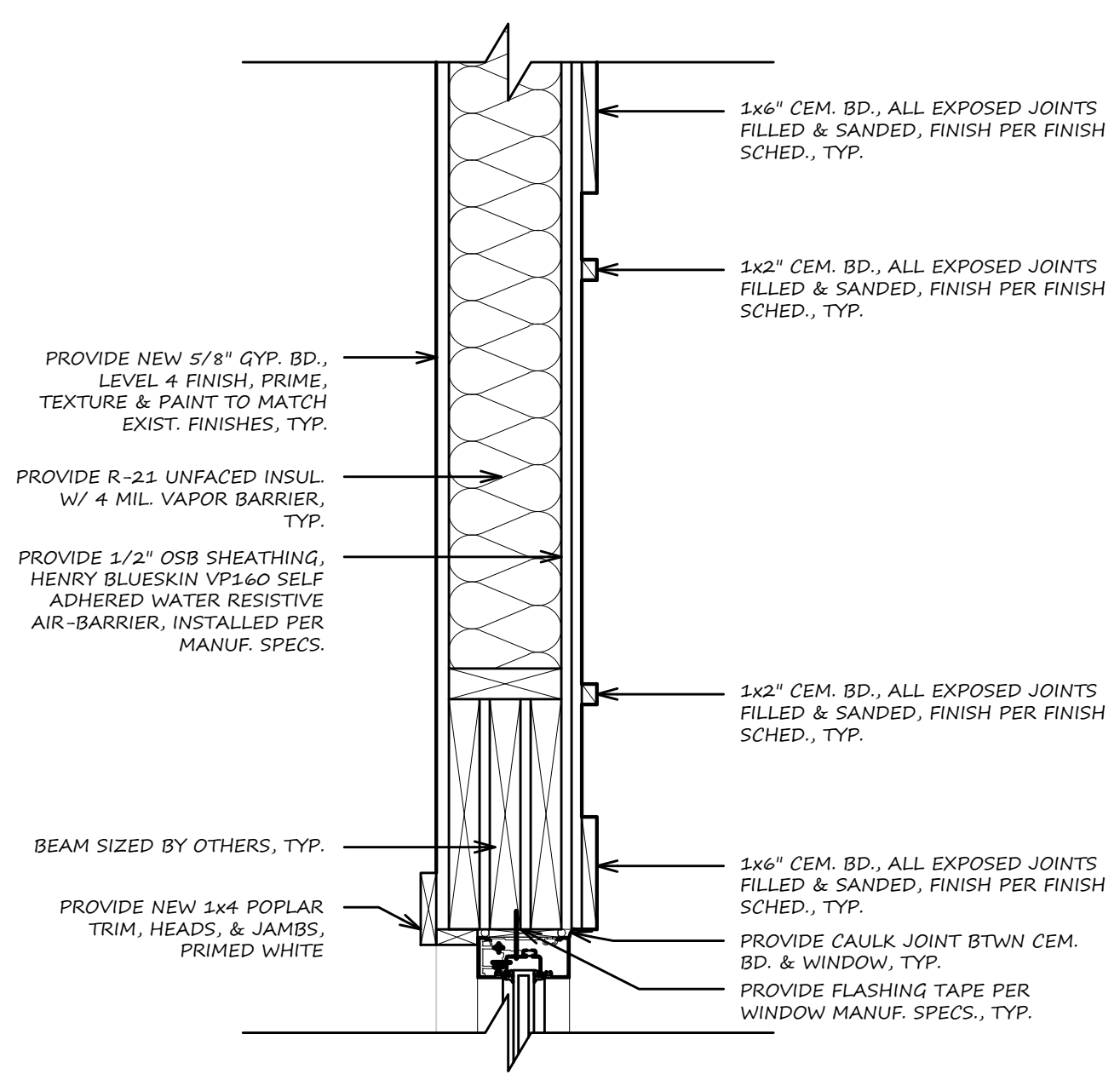
A1.0



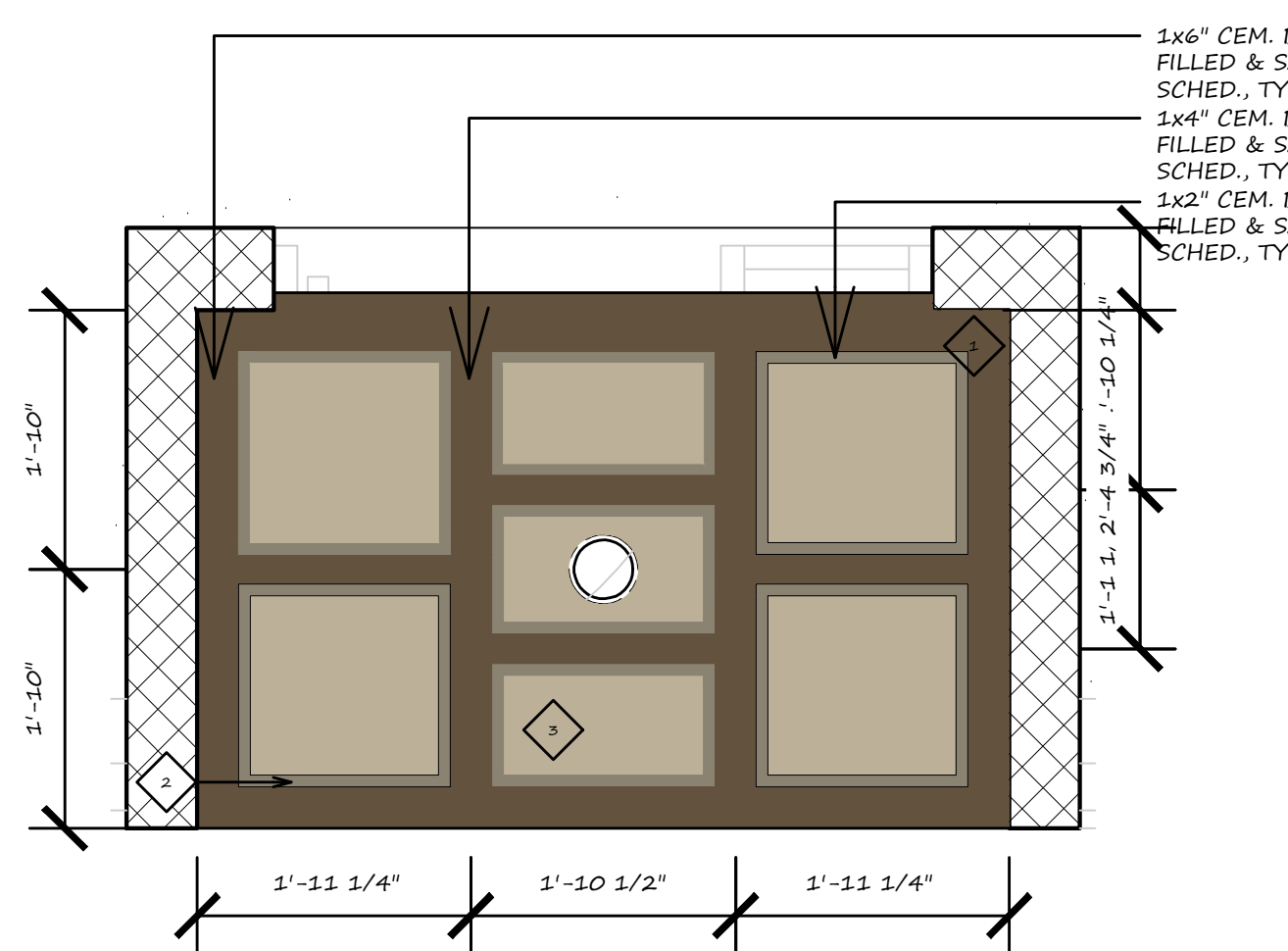
1 BUILDING SECTION
 3/4" = 1'-0"



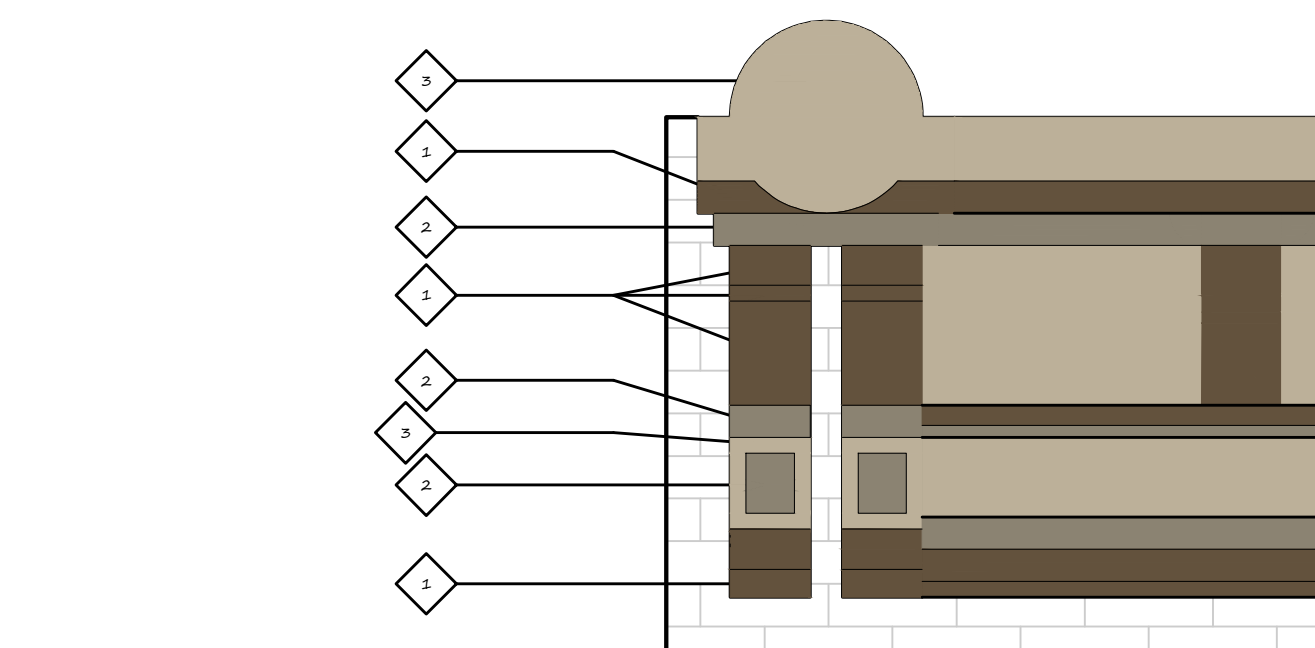
2 WALL SECTION
 1-1/2" = 1'-0"



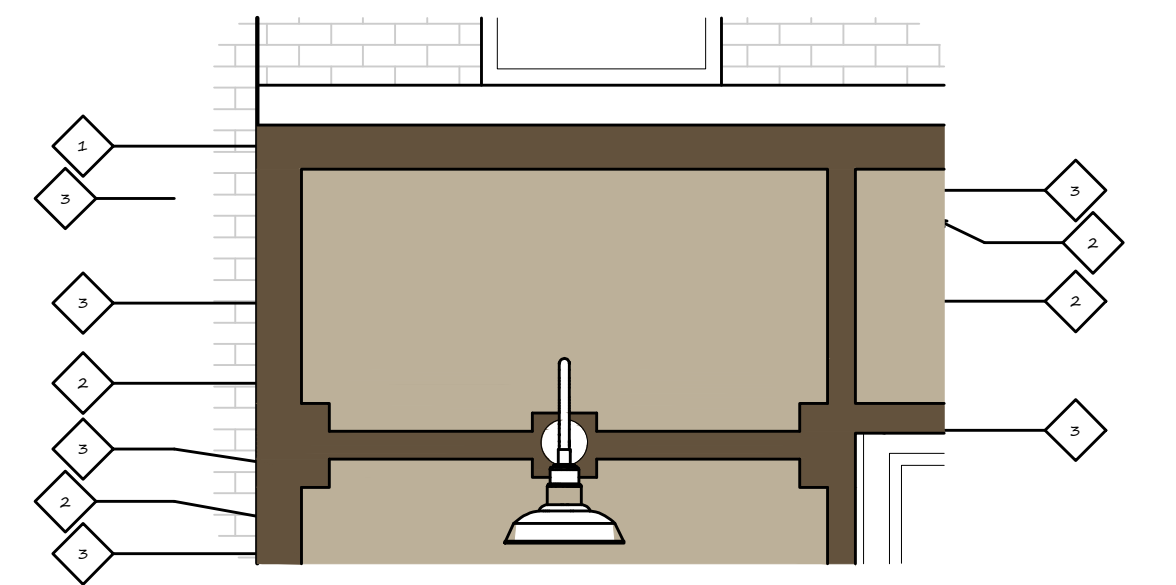
3 WALL SECTION
 1-1/2" = 1'-0"



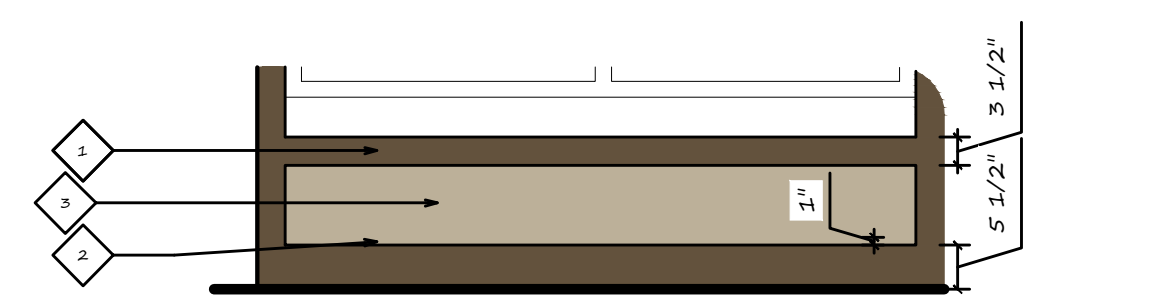
6 PAINT DETAIL
 3/4" = 1'-0"



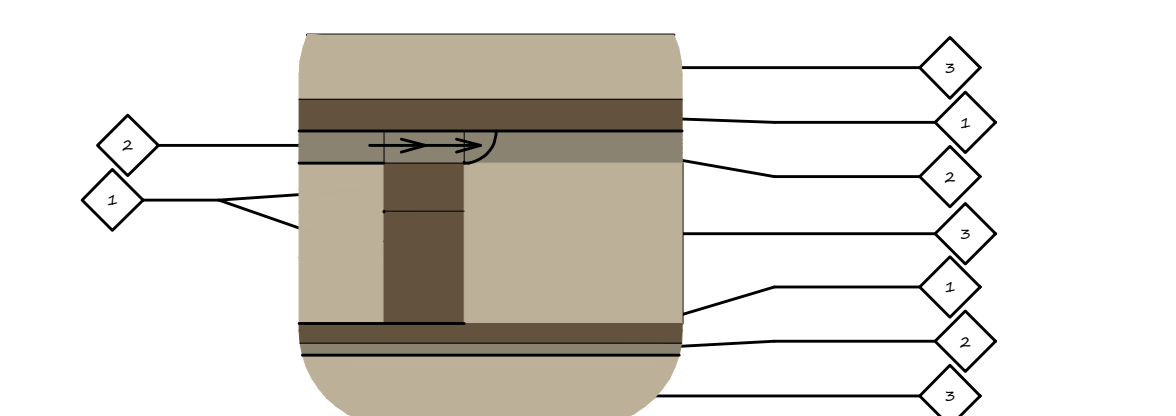
7 PAINT DETAIL
 1" = 1'-0"



4 PAINT DETAIL
 1/2" = 1'-0"



5 PAINT DETAIL
 1/2" = 1'-0"



8 PAINT DETAIL
 1" = 1'-0"

1222 6th ST. DOOR SCHEDULE

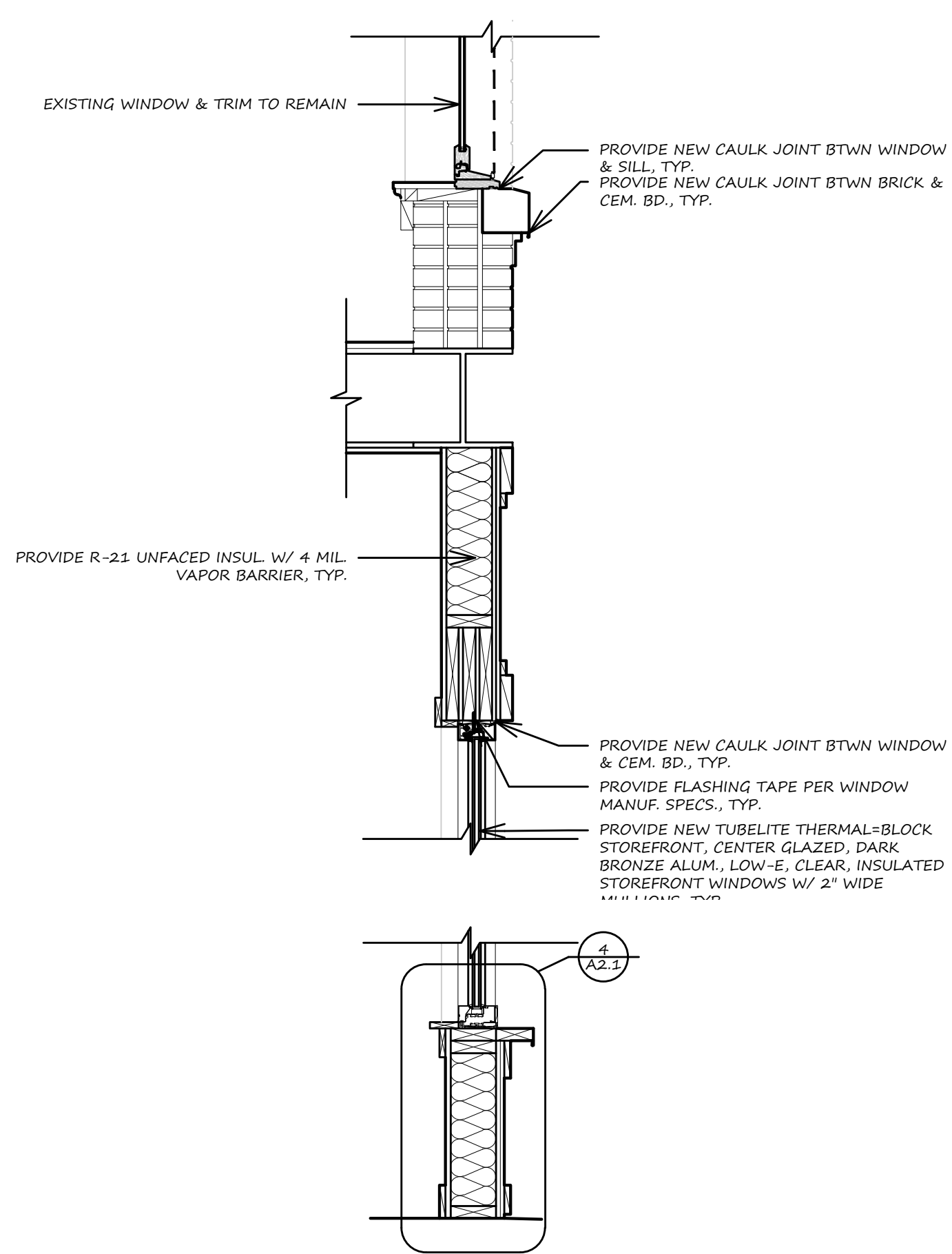
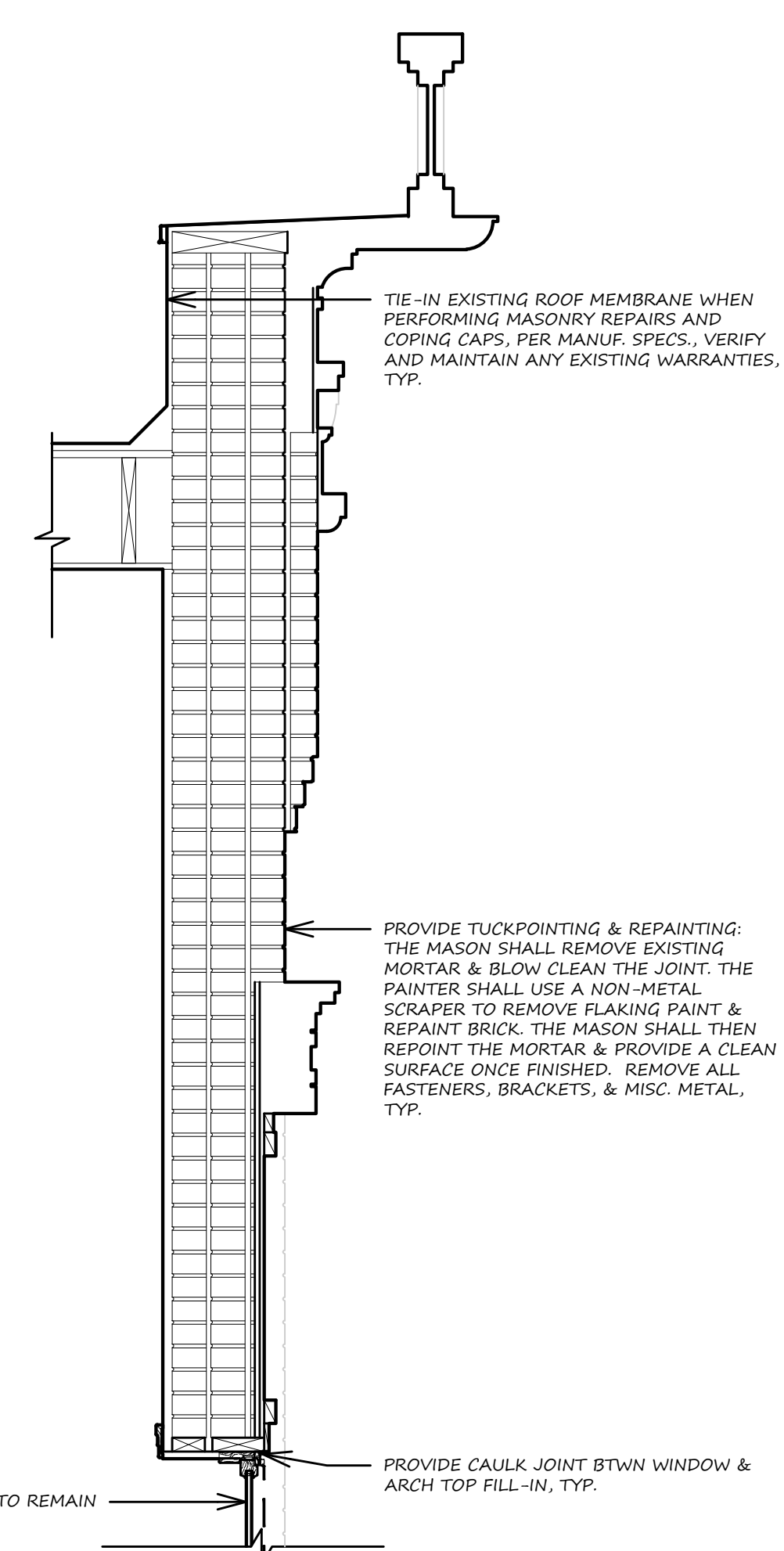
#	OPENING SIZE	DOOR			FRAME		HARDWARE				
		SWING	MAT'L	FINISH	TYPE	STILE	MAT'L	FINISH	LOCKSET	PUSH/PULL	CLOSER
1	3'-0" x 7'-0" x 1 3/4"	LHR	ALUM SF	D BRONZE	FULL GLASS	MEDIUM	ALUM	D BRONZE	1	2	3

OPENING SCHEDULE

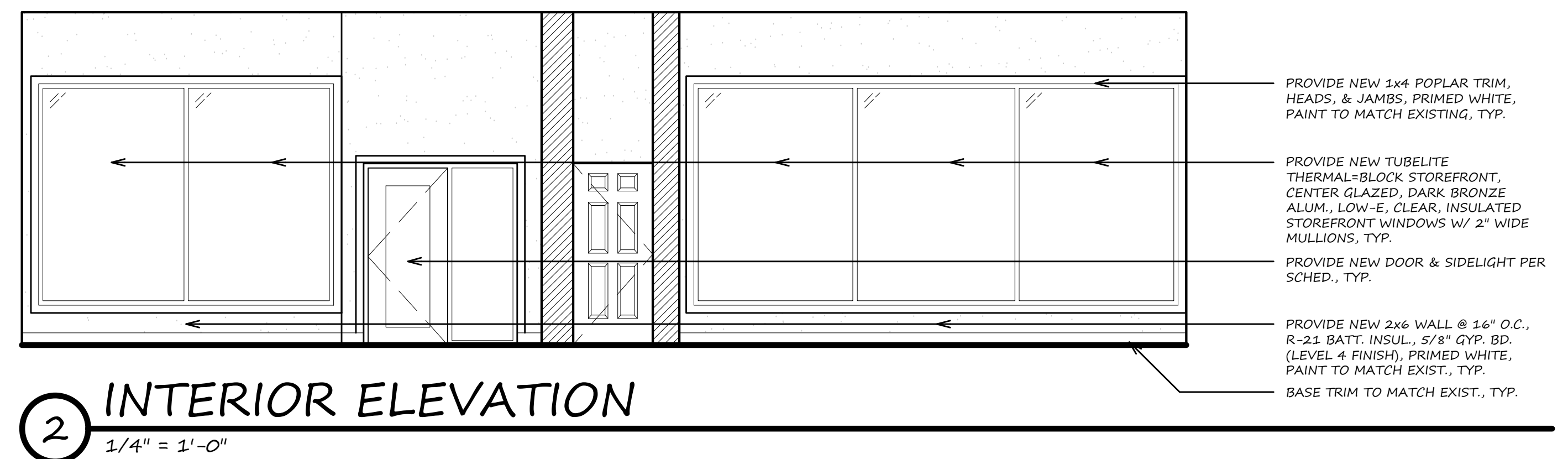
- HARDWARE SPECIFICATIONS:**
- MANUFACTURE STANDARD LOCKSET FINISH: #40 DARK BRONZE
 - PUSH/PULL: PULL - KAWNEER CO-1, PUSH - FALCON 1740 RIM EXIT DEVICE FINISH: #40 DARK BRONZE
 - CLOSER: LCN 4040 XP FINISH: #40 DARK BRONZE
- REMARKS**
- TUBELITE THERMAL=BLOCK STOREFRONT ENTRY DOOR, LOW-E, CLEAR, INSULATED, CONCEALED SCREW, WEATHER STRIP, & STANDARD THRESHOLD TO MATCH COLOR OF DOOR. PROVIDE TRANSOM, VERIFY TRANSOM SIZE IN FIELD.

1 BUILDING SECTION
 3/4" = 1'-0"

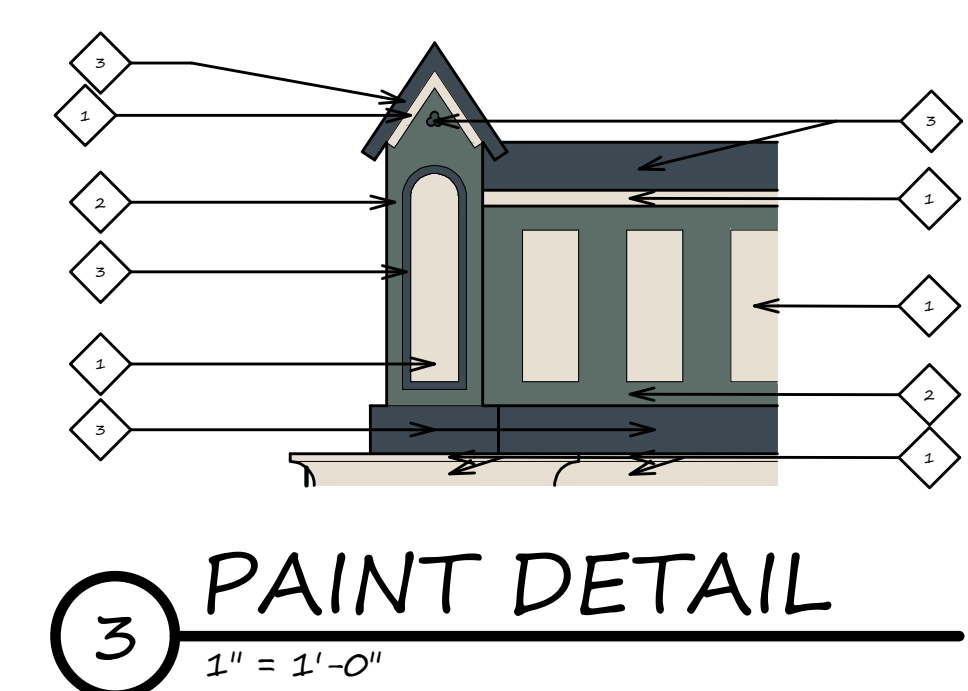
9 PAINT DETAIL
 1/4" = 1'-0"



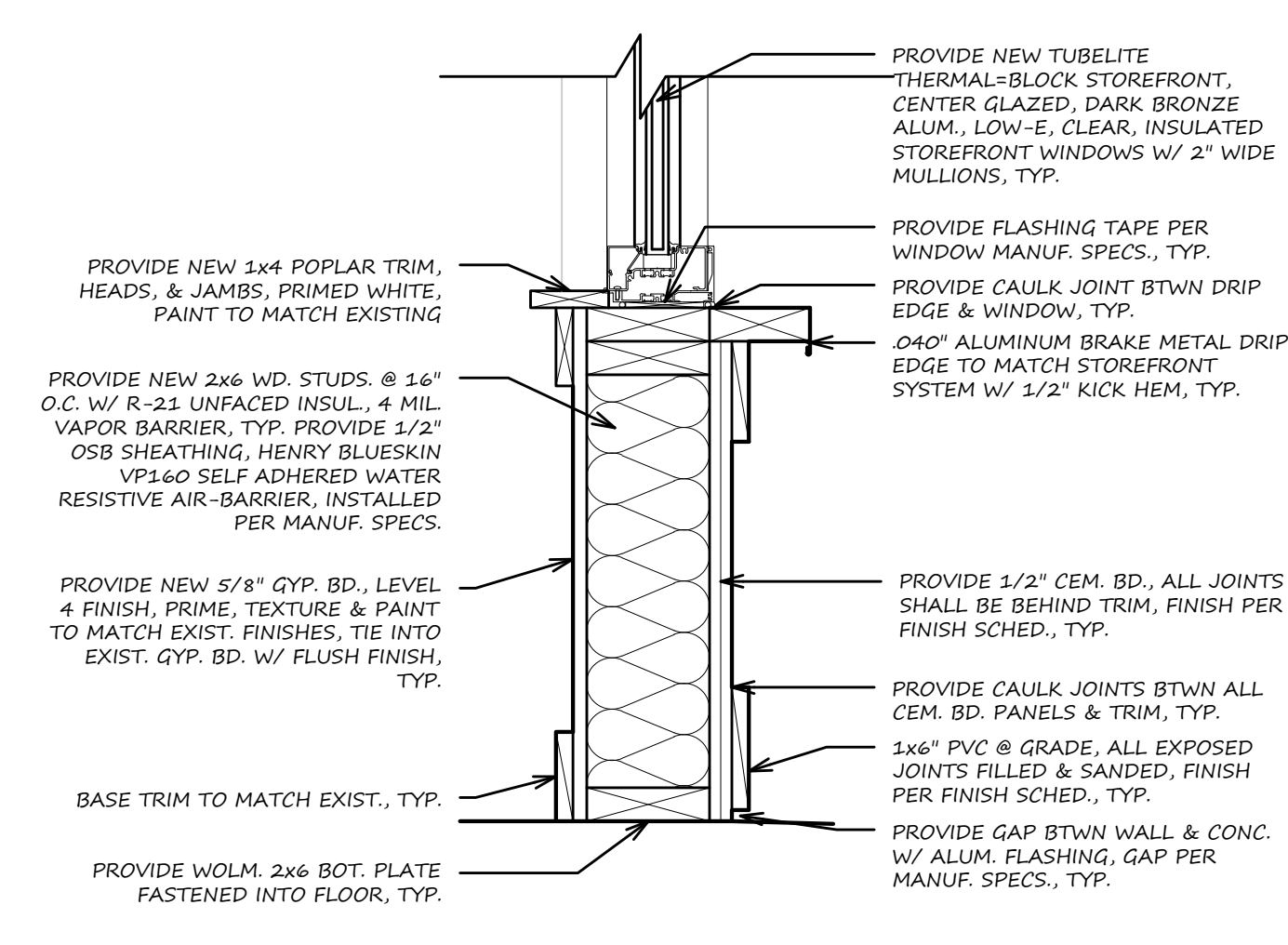
1 BUILDING SECTION
 3/4" = 1'-0"



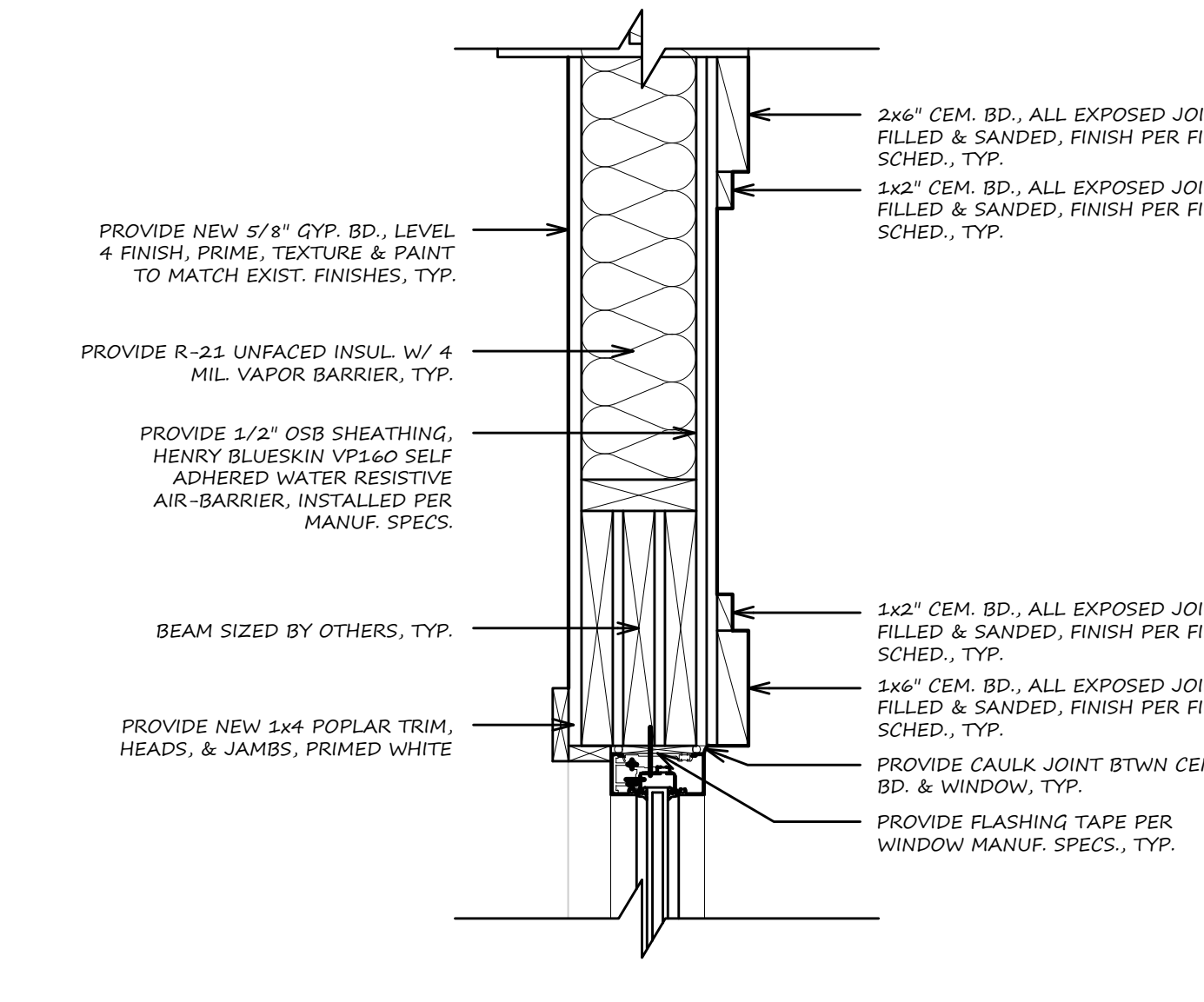
2 INTERIOR ELEVATION
 1/4" = 1'-0"



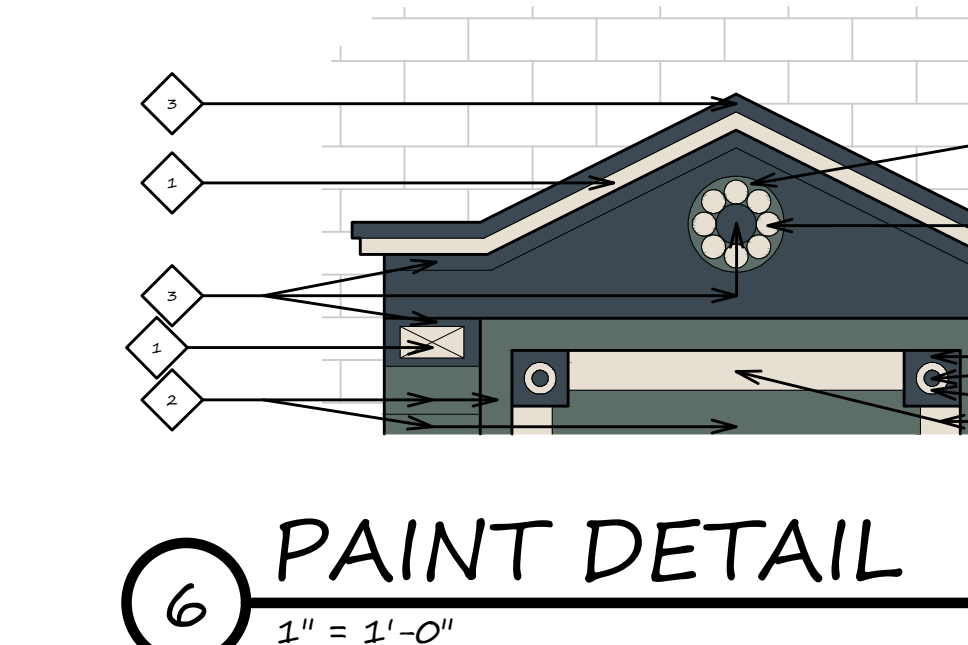
3 PAINT DETAIL
 1" = 1'-0"



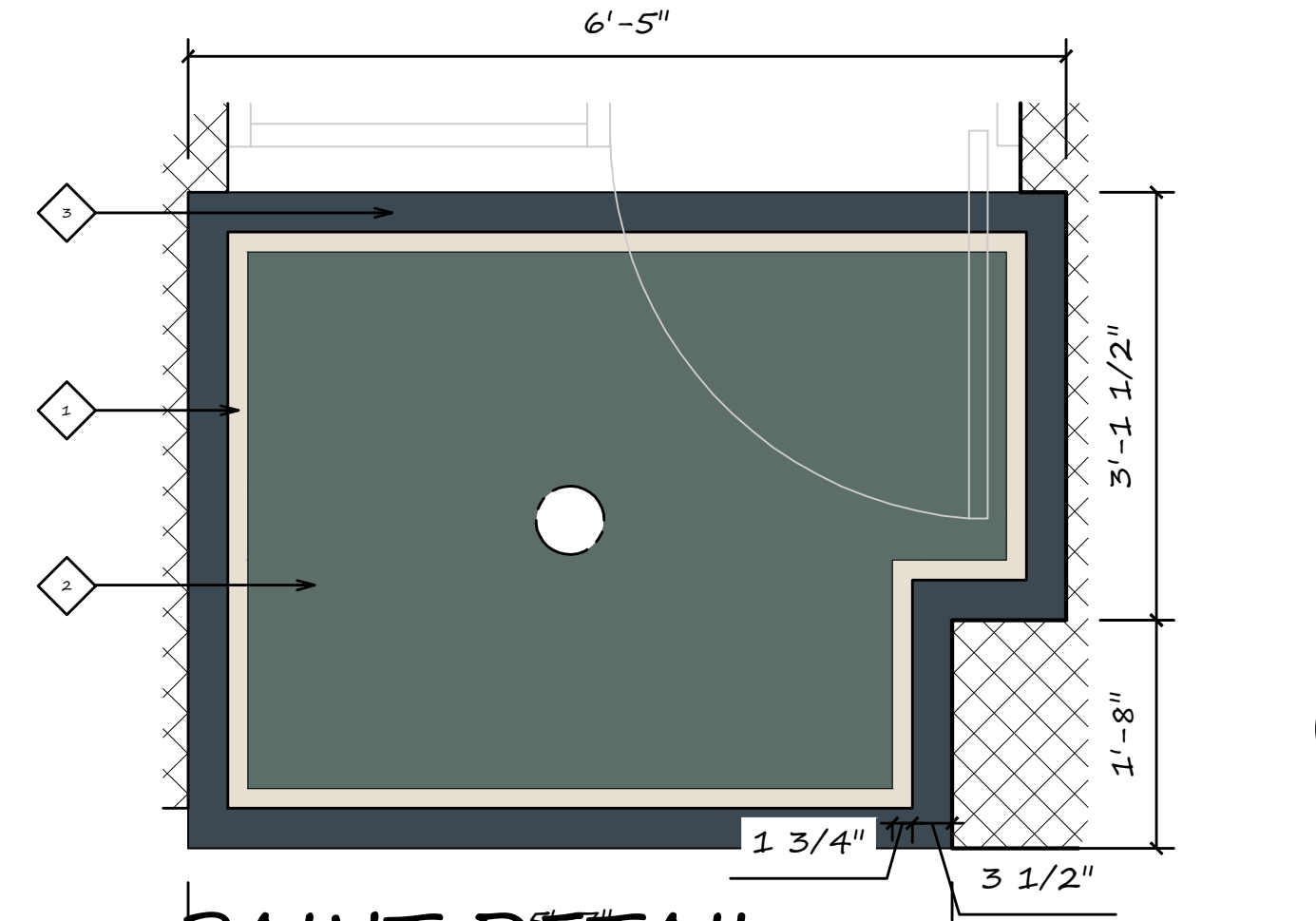
4 WALL SECTION
 1-1/2" = 1'-0"



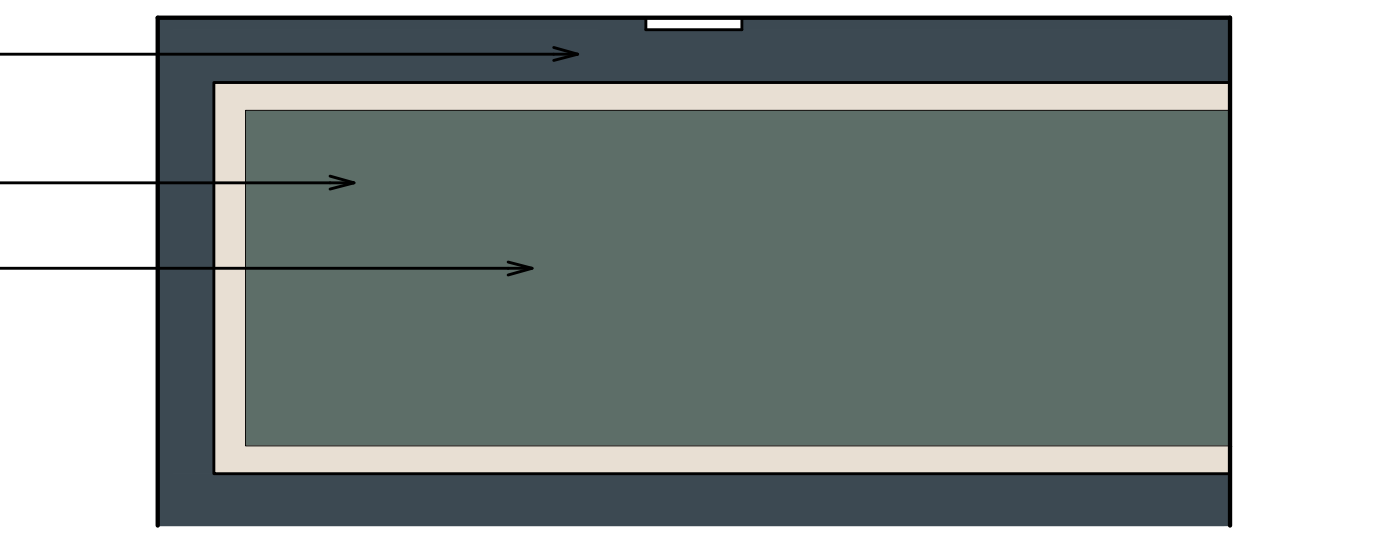
5 WALL SECTION
 1-1/2" = 1'-0"



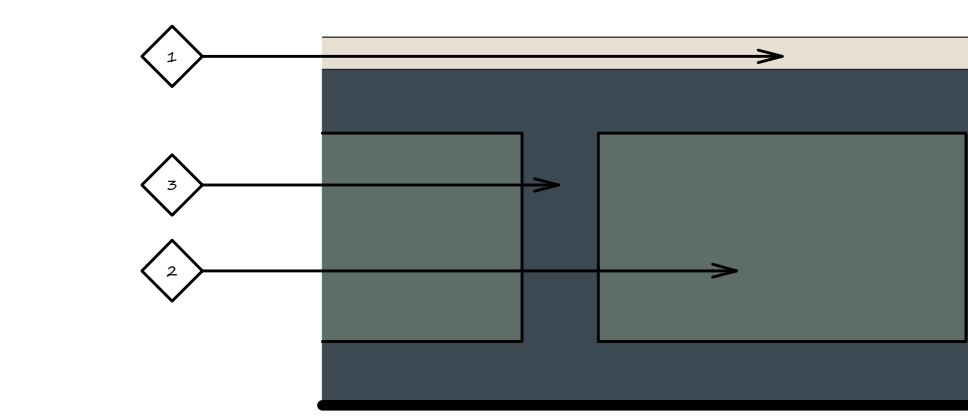
6 PAINT DETAIL
 1" = 1'-0"



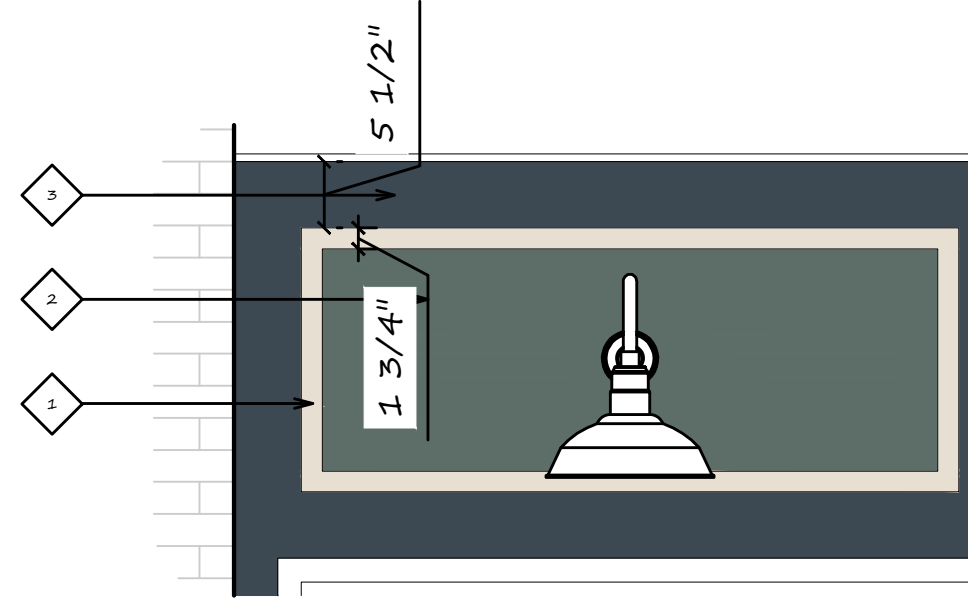
8 PAINT DETAIL
 3/4" = 1'-0"



9 PAINT DETAIL
 1" = 1'-0"



7 PAINT DETAIL
 1" = 1'-0"



10 PAINT DETAIL
 3/4" = 1'-0"

1110 6th ST. FINISH SCHEDULE

	COLOR	PRIMER	FINISH	COATS	REMARKS
1	SW 9165	EXTERIOR	SATIN	2	2,4,7
2	SW 6215	EXTERIOR	SATIN	2	1,3,6
3	SW 6230	EXTERIOR	SATIN	2	1,3,6
4	SW 7594	EXTERIOR	SATIN	2	5

FINISH SCHEDULE

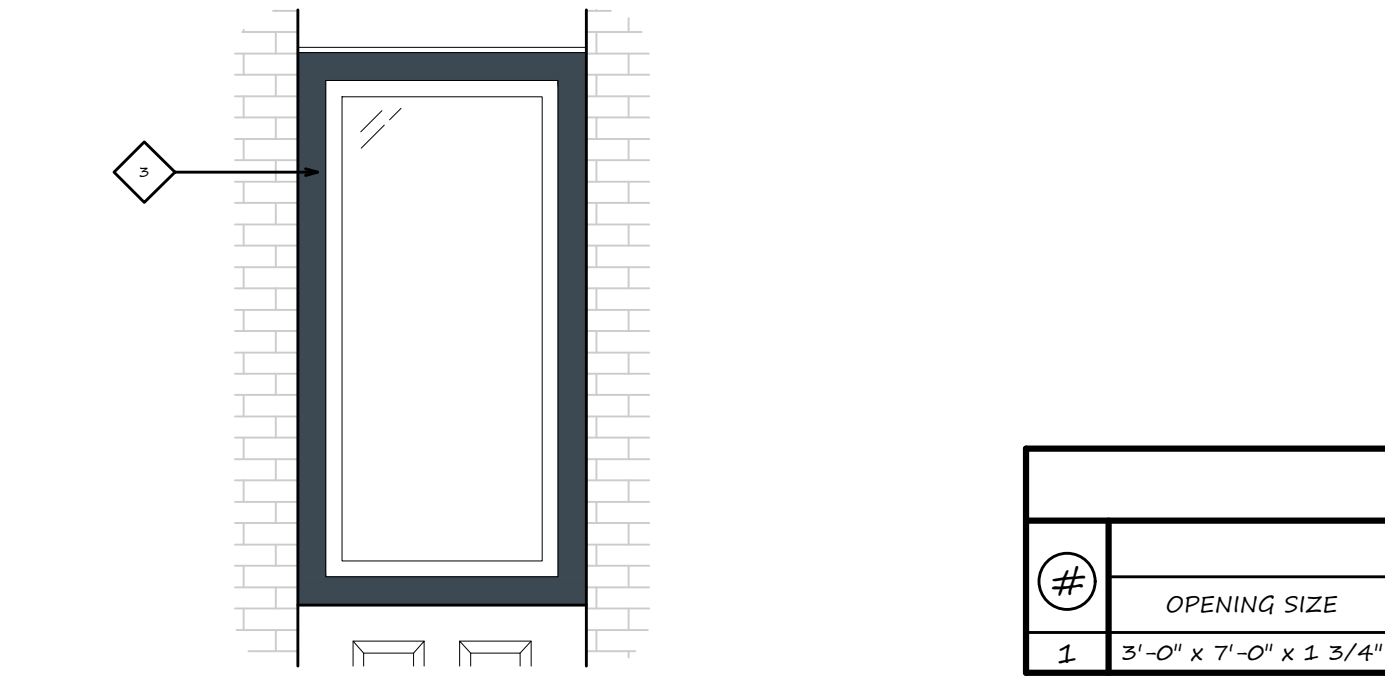
- REMARKS:** VERIFY COLOR USE ON ELEVATIONS AND DETAILS
- COLOR USED FOR TRIM AT SOFFIT
 - COLOR USED FOR PANELS AT SOFFIT
 - COLOR USED FOR WALL TRIM
 - COLOR USED FOR WALL PANELS
 - COLOR USED FOR BRICK COLOR
 - COLOR USED FOR TRIM AT KNEE WALL
 - COLOR USED FOR PANELS AT KNEE WALL
 - COLOR USED FOR SIGN LETTERS
 - COLOR USED FOR INTERIOR WALLS (MATCH EXIST.)
 - COLOR USED FOR INTERIOR TRIM (MATCH EXIST.)

1110 6th ST. DOOR SCHEDULE

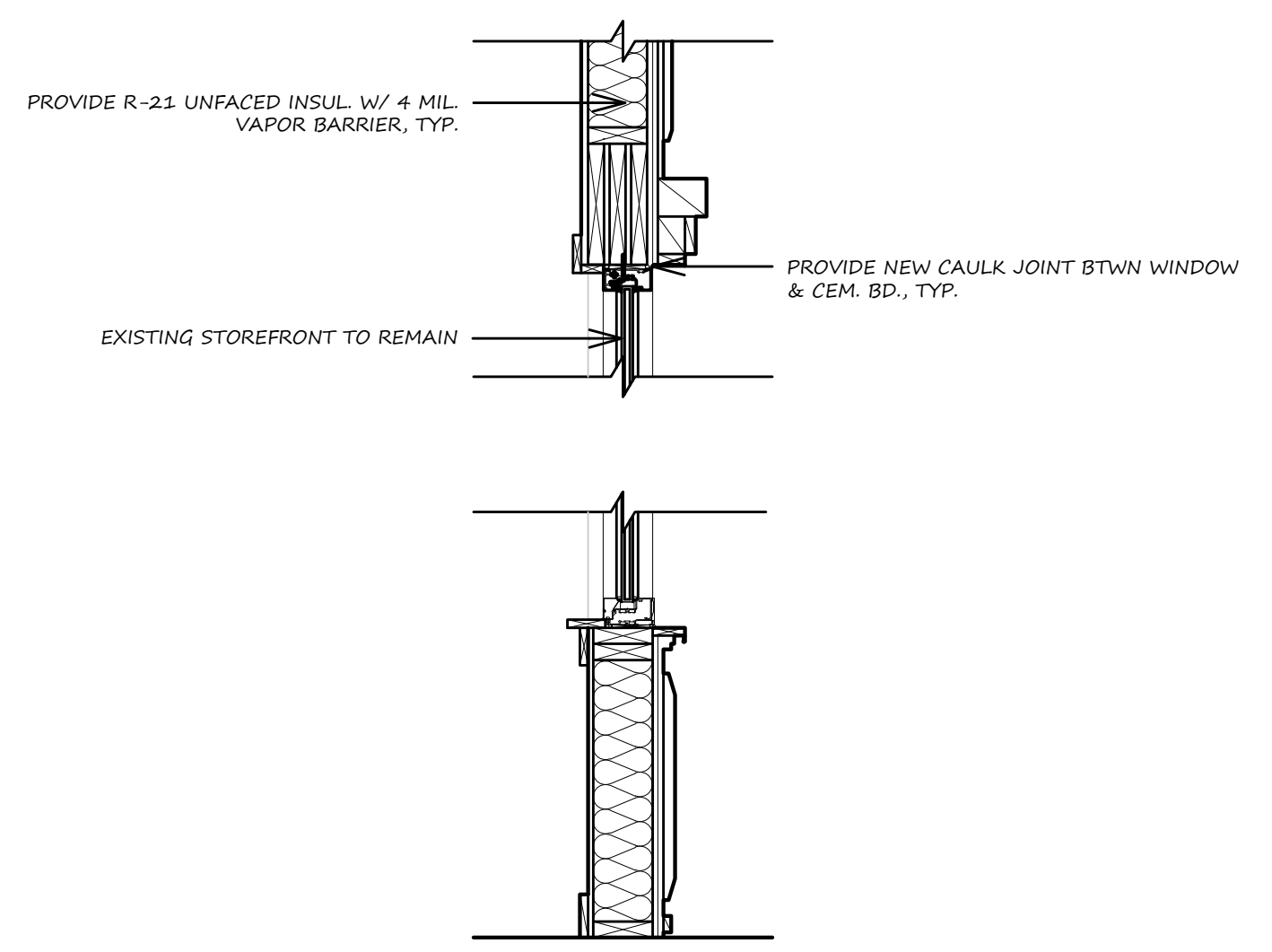
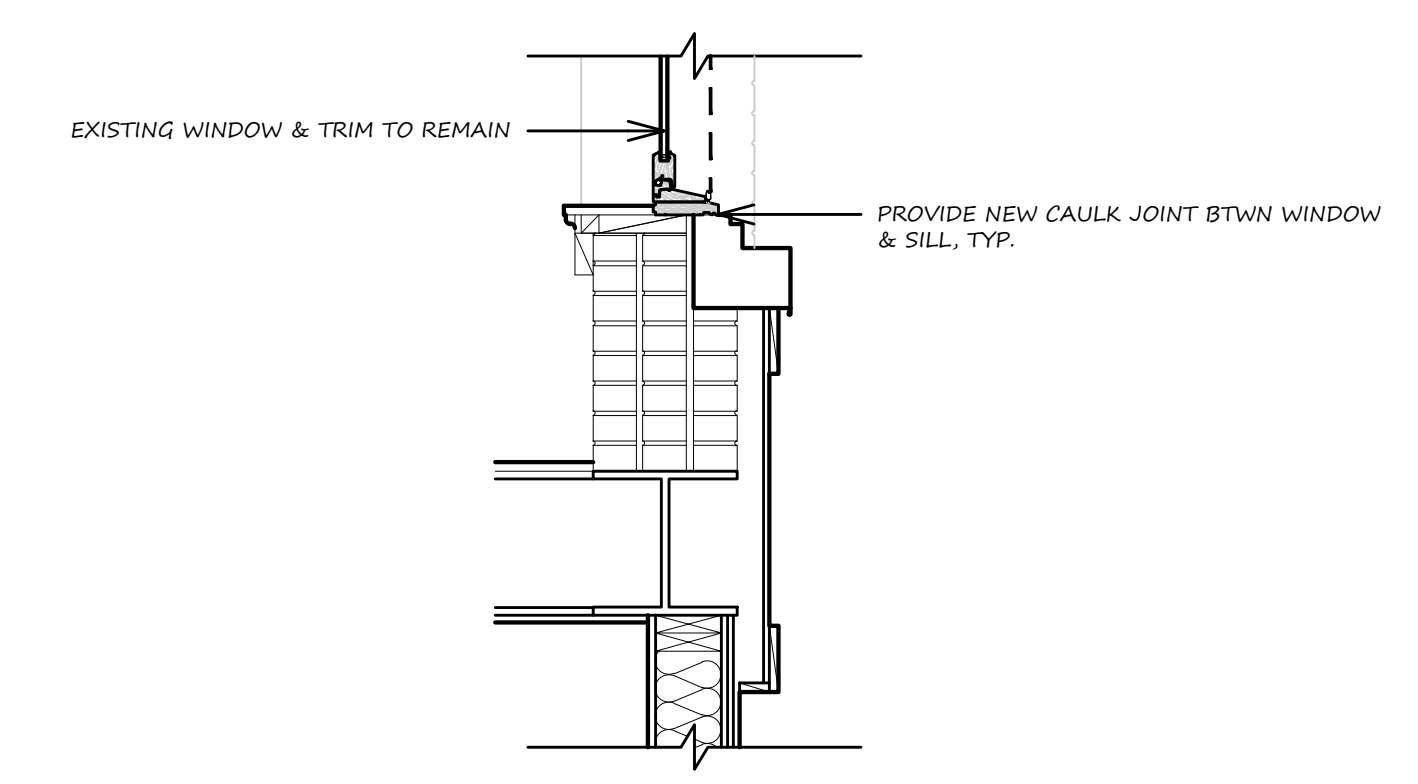
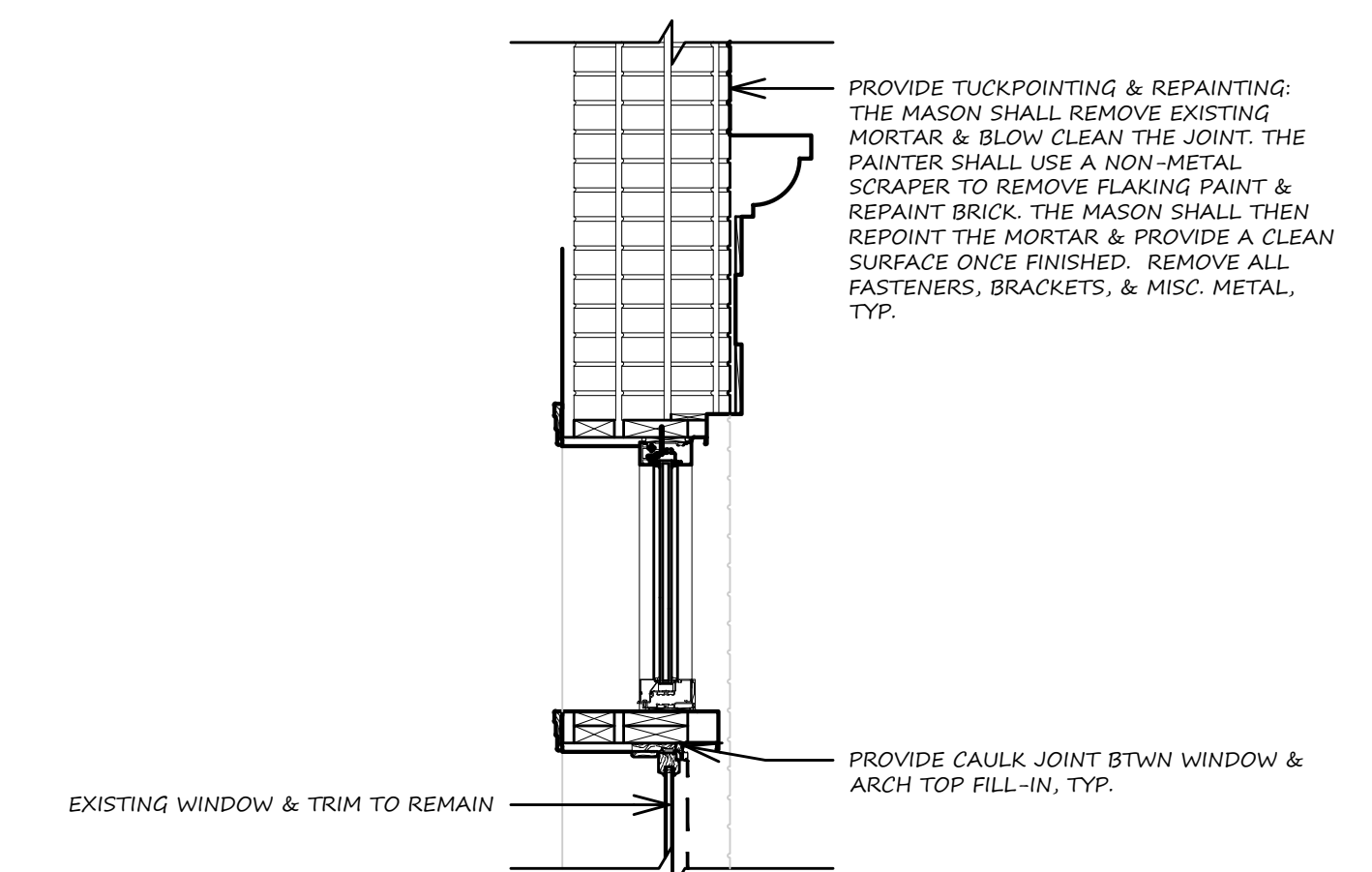
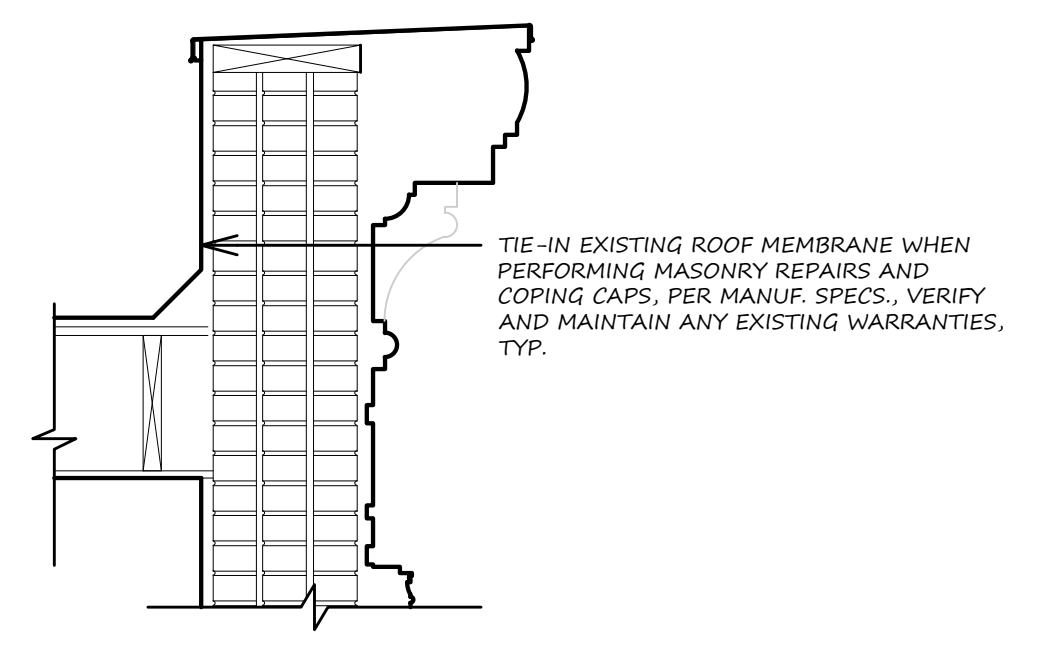
#	DOOR					FRAME			HARDWARE		
	OPENING SIZE	SWING	MAT'L	FINISH	TYPE	STILE	MAT'L	FINISH	LOCKSET	PUSH/PULL	CLOSER
1	3'-0" x 7'-0" x ± 3/4"	RHR	ALUM SF	D BRONZE	FULL GLASS	MEDIUM	ALUM	D BRONZE	1	2	3

OPENING SCHEDULE

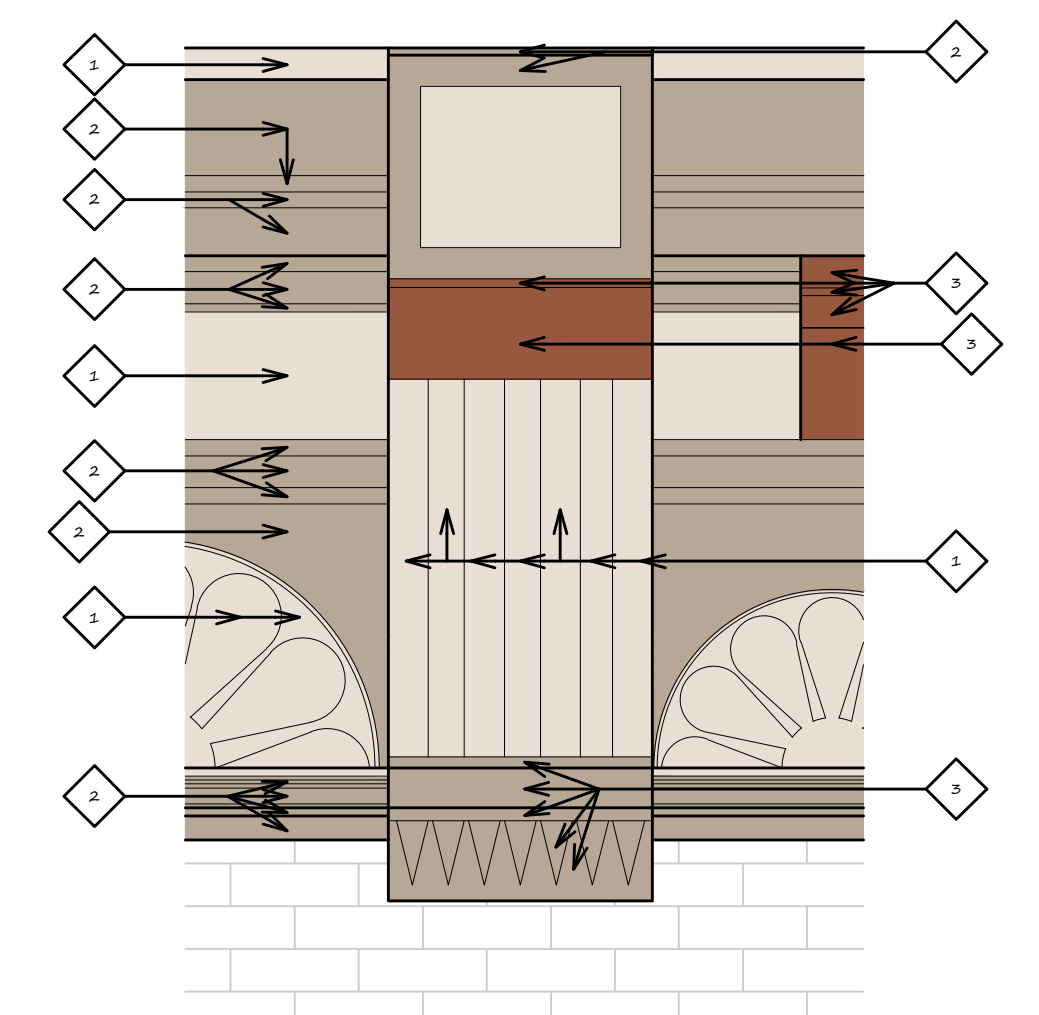
- HARDWARE SPECIFICATIONS:**
- MANUFACTURE STANDARD LOCKSET FINISH: #40 DARK BRONZE
 - PUSH/PULL: PULL - KAWNEER CO-9, PUSH - FALCON 1740 RIM EXIT DEVICE FINISH: #40 DARK BRONZE
 - CLOSER: LCN 4040 XP FINISH: #40 DARK BRONZE
- REMARKS**
- TUBELITE THERMAL-BLOCK STOREFRONT ENTRY DOOR, LOW-E, CLEAR, INSULATED, CONCEALED SCREW WEATHER STRIP, & STANDARD THRESHOLD TO MATCH COLOR OF DOOR. PROVIDE TRANSOM, VERIFY TRANSOM SIZE IN FIELD.



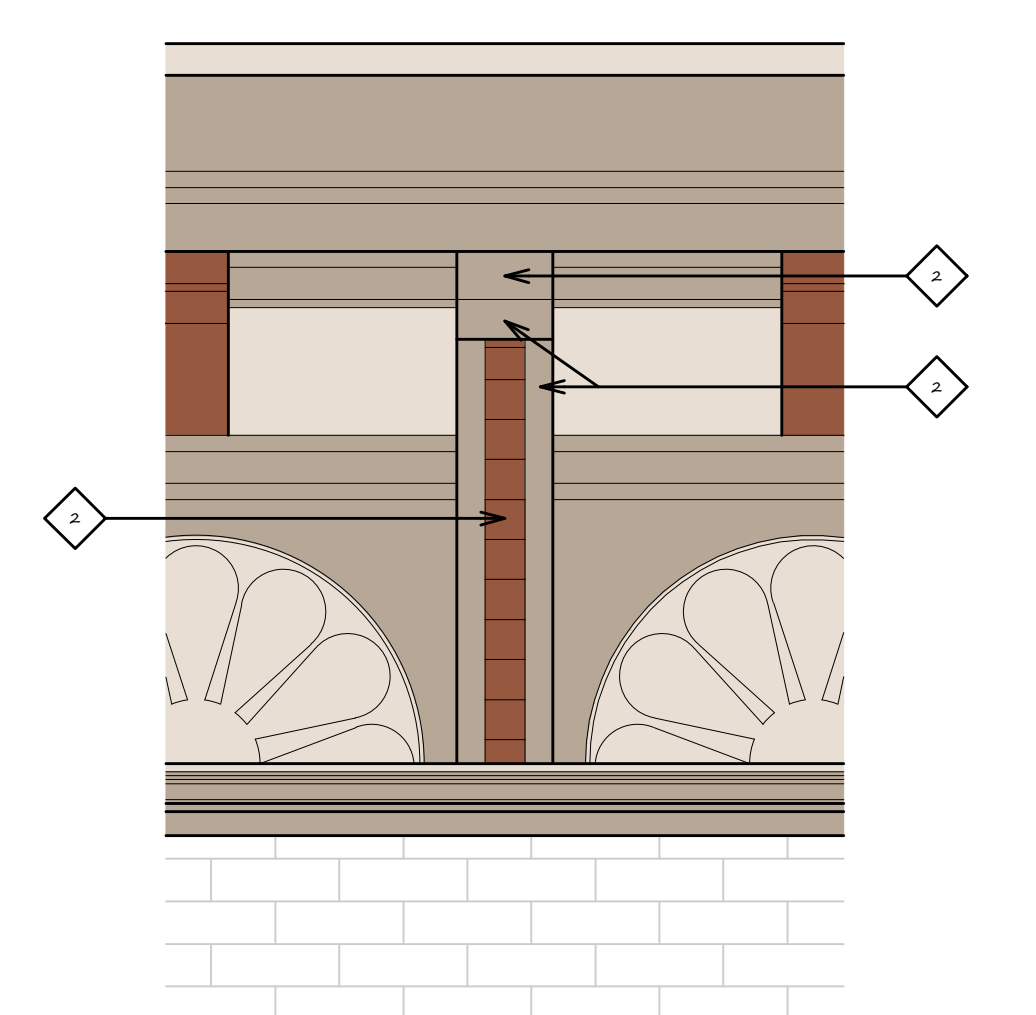
11 PAINT DETAIL
 1/2" = 1'-0"



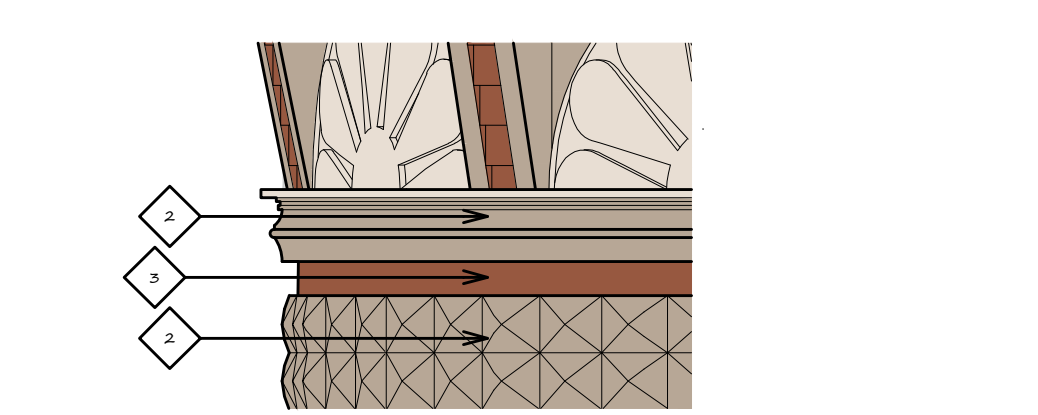
1 BUILDING SECTION
 3/4" = 1'-0"



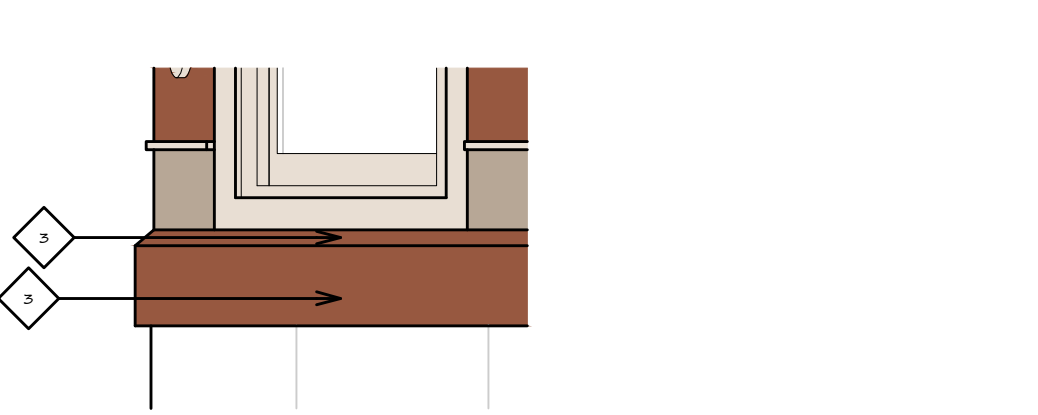
2 PAINT DETAIL
 1" = 1'-0"



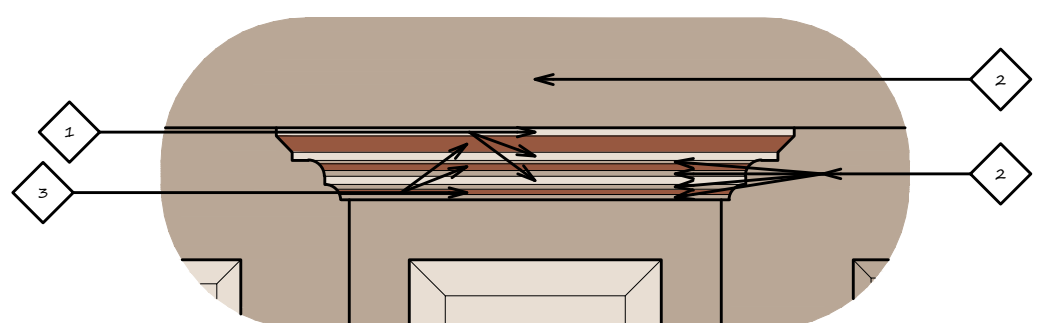
3 PAINT DETAIL
 1" = 1'-0"



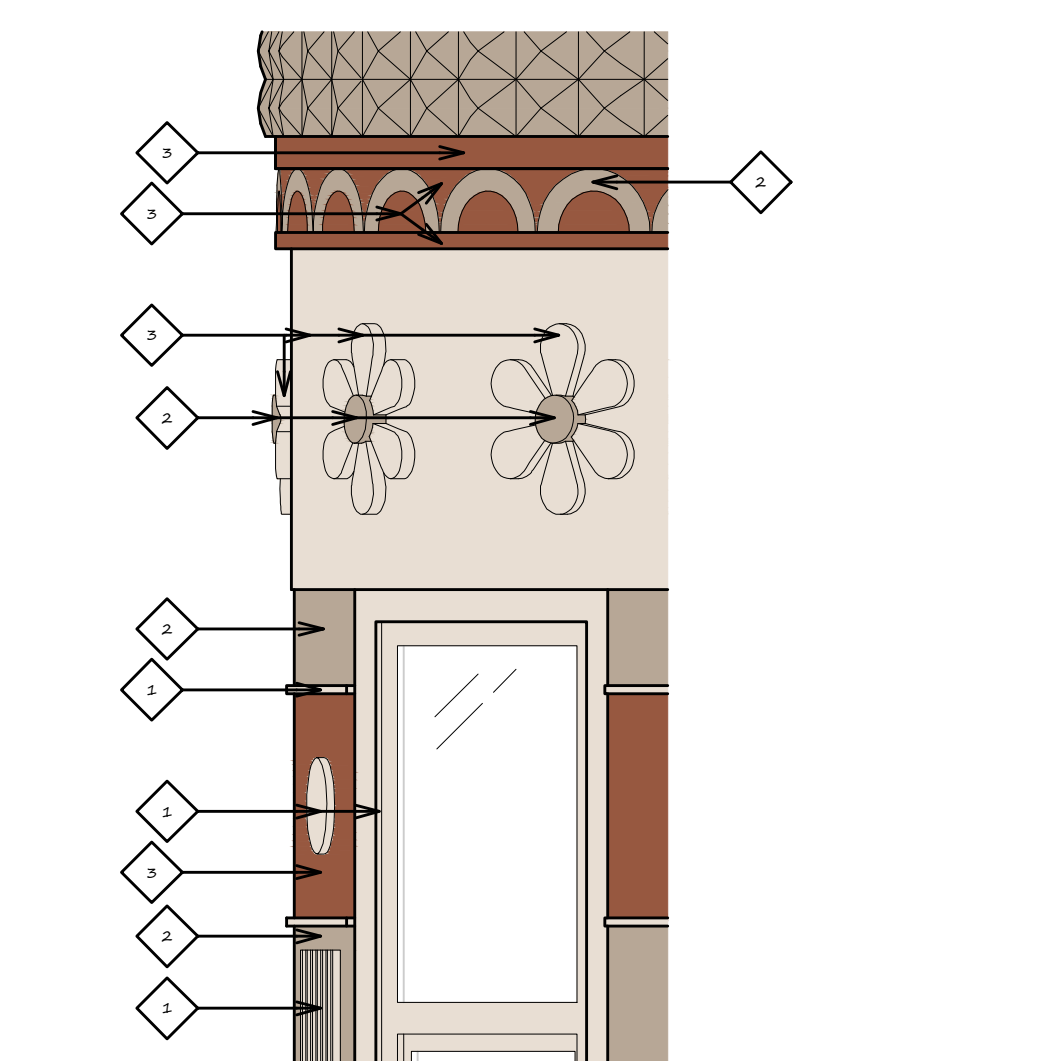
4 PAINT DETAIL
 1" = 1'-0"



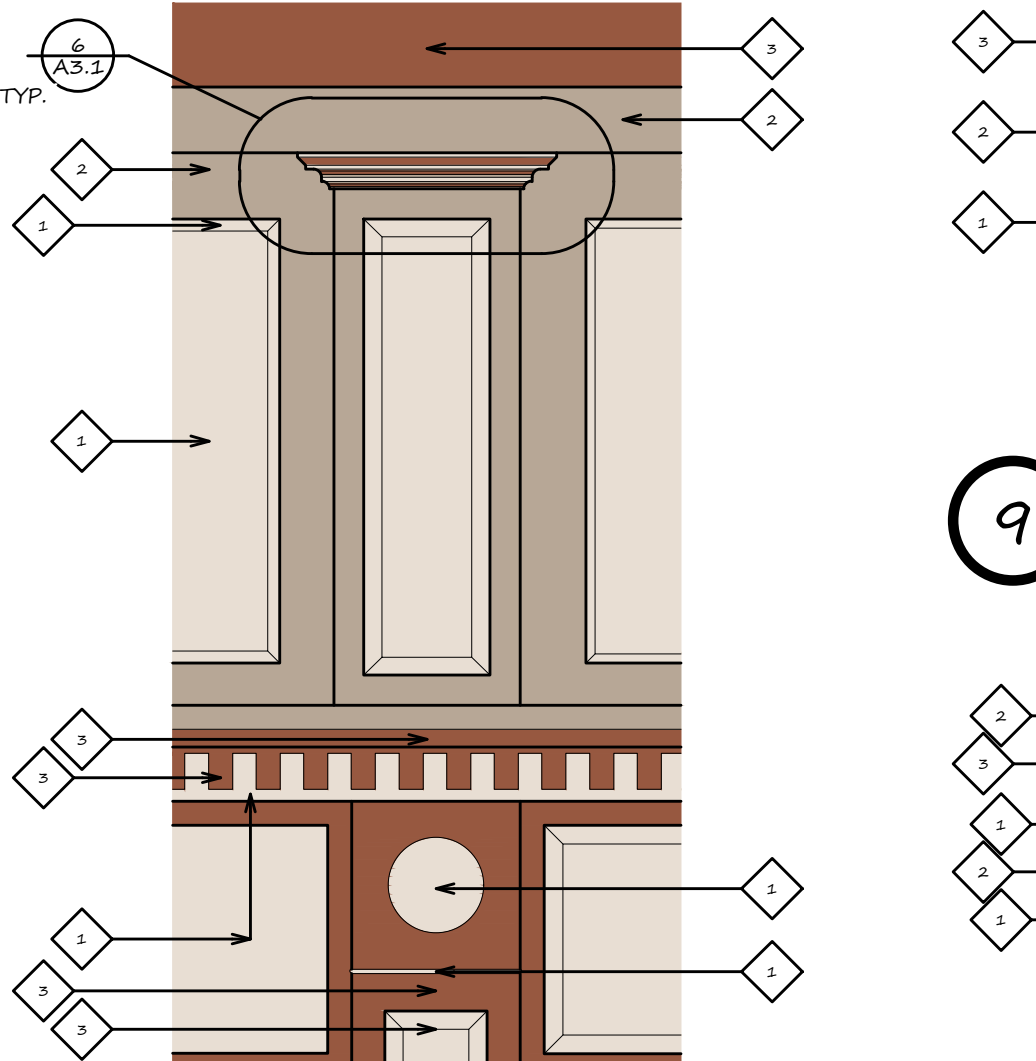
5 PAINT DETAIL
 1" = 1'-0"



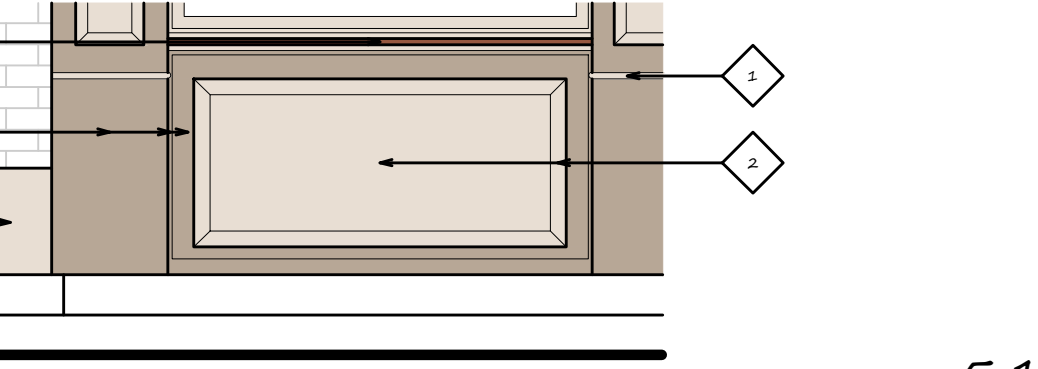
6 PAINT DETAIL
 1-1/2" = 1'-0"



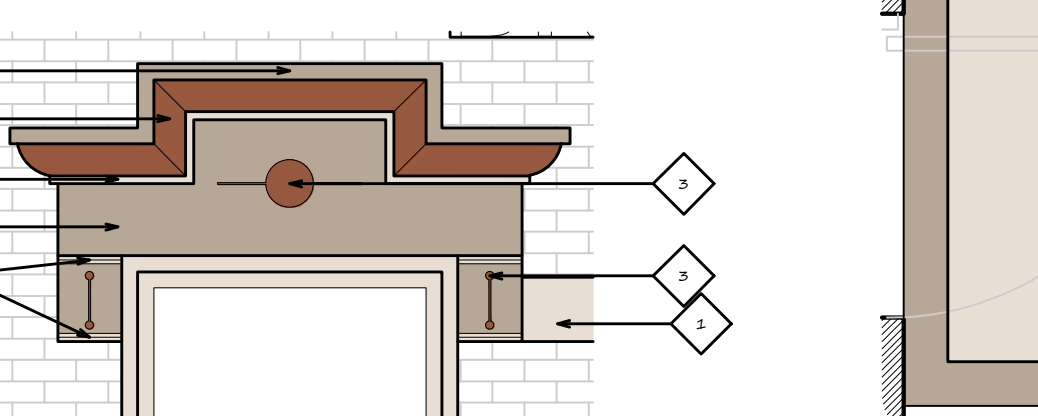
7 PAINT DETAIL
 1" = 1'-0"



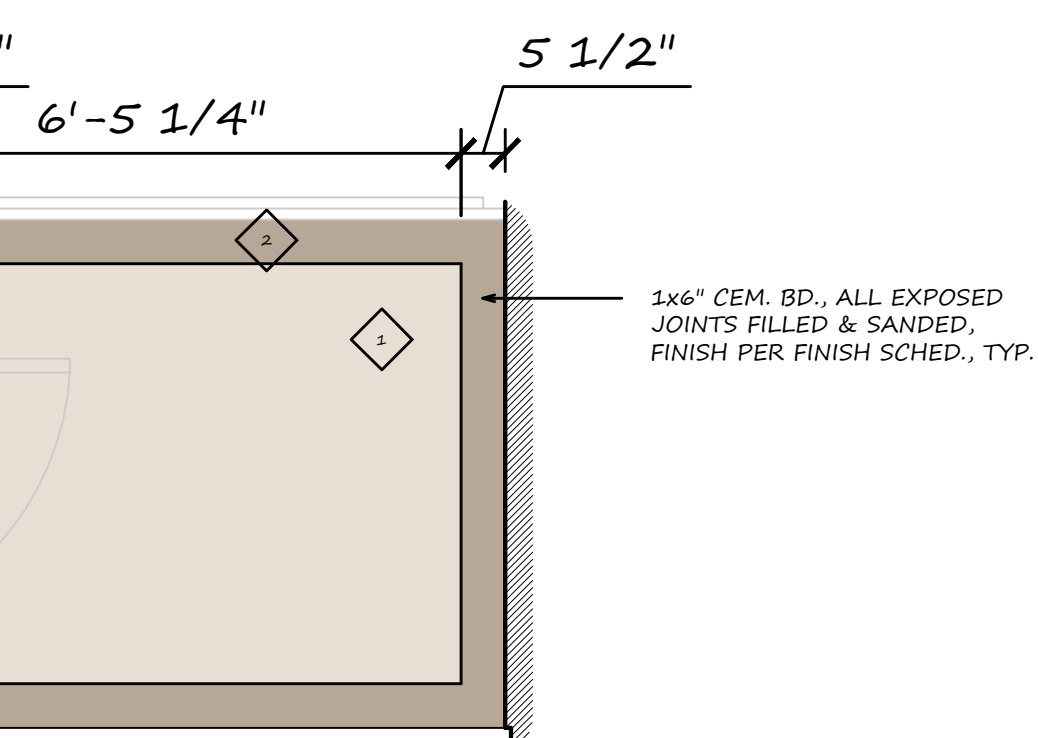
8 PAINT DETAIL
 3/4" = 1'-0"



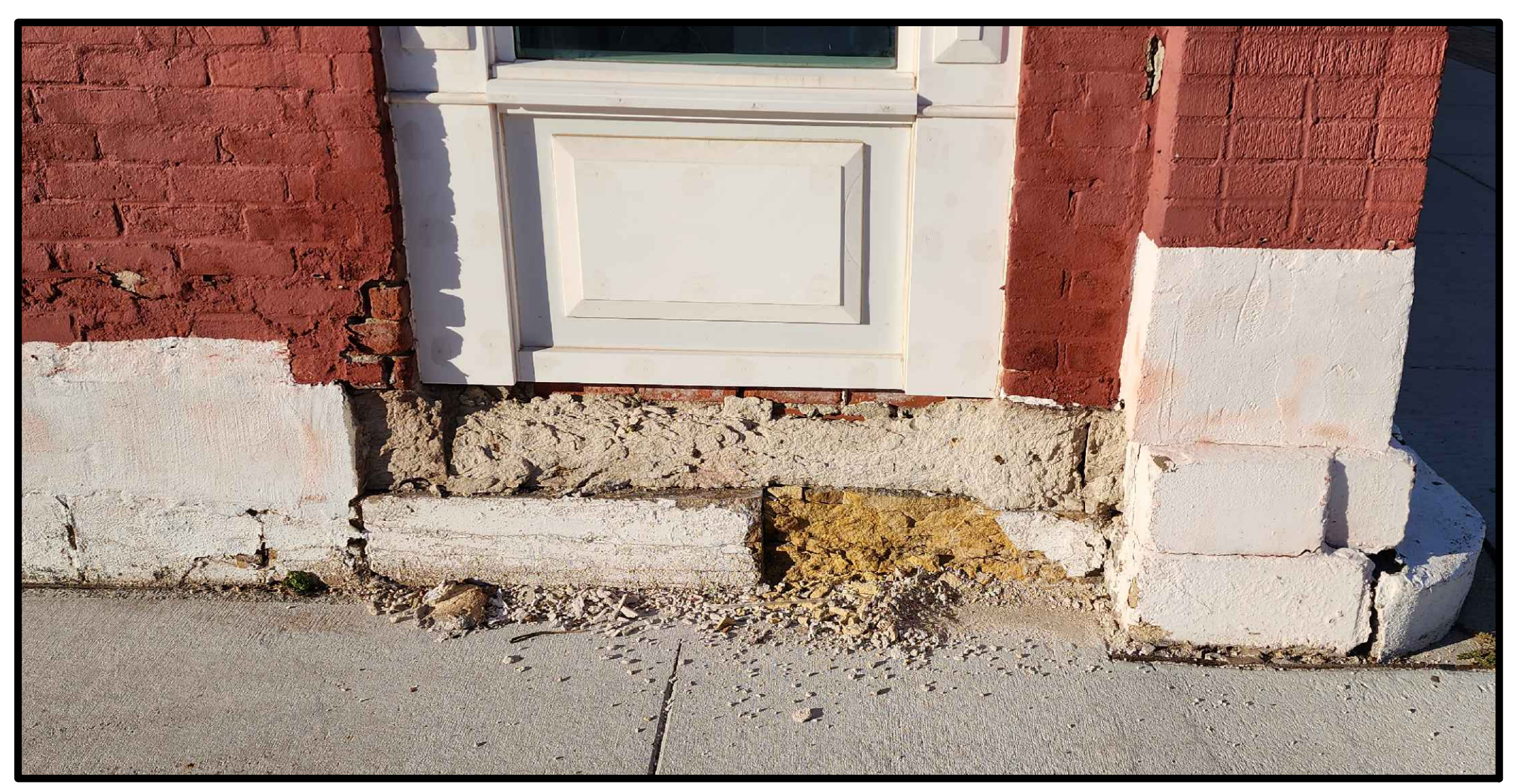
9 PAINT DETAIL
 1/2" = 1'-0"



10 PAINT DETAIL
 1/2" = 1'-0"



11 PAINT DETAIL
 1/2" = 1'-0"



1104 6th ST. FINISH SCHEDULE

NO.	COLOR	PRIMER	FINISH	COATS	REMARKS
1	SW 6091	EXTERIOR	SATIN	2	--
2	SW 4087	EXTERIOR	SATIN	2	--
3	SW 2803	EXTERIOR	SATIN	2	--
4	SW 0008	EXTERIOR	SATIN	2	--

FINISH SCHEDULE

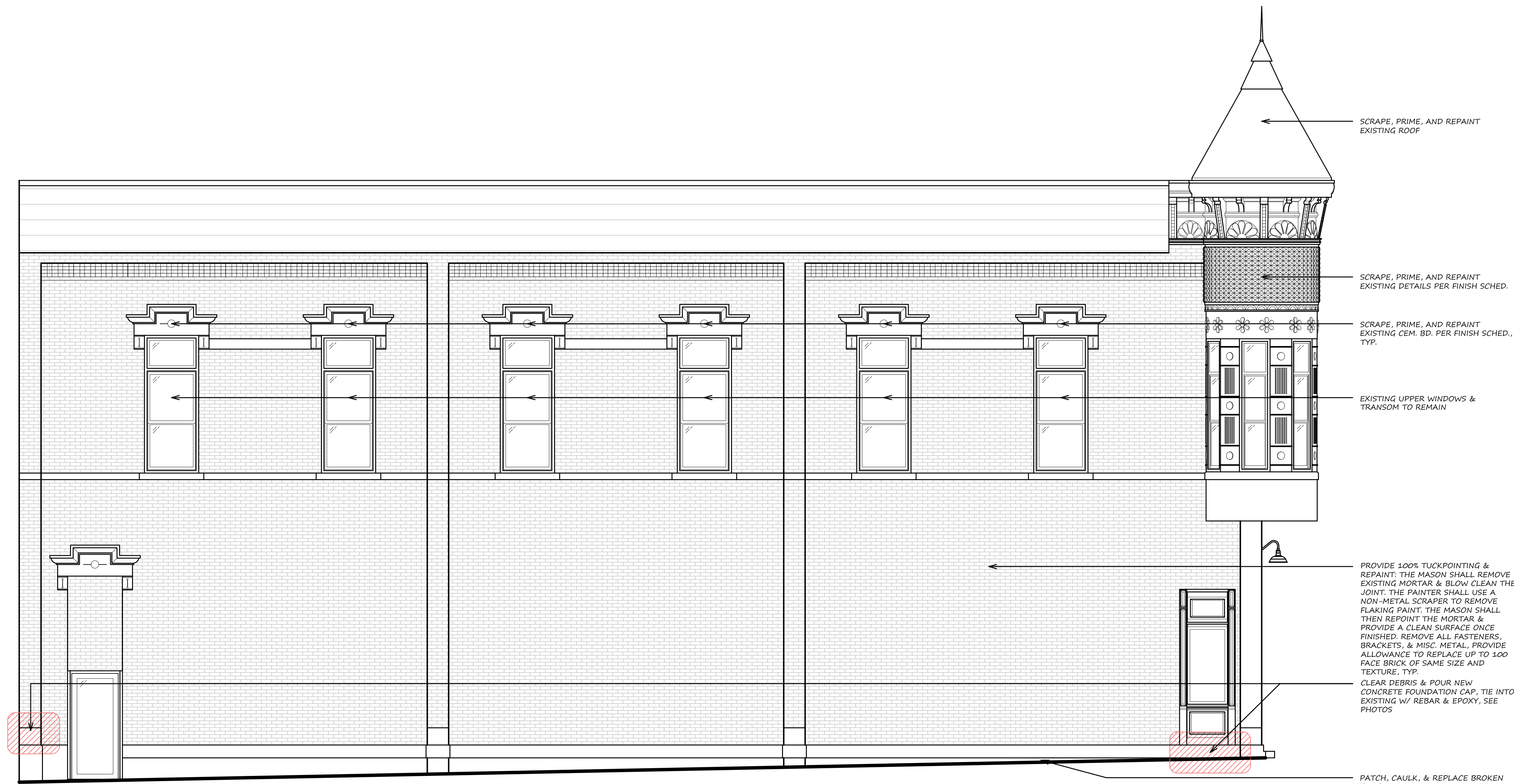
- REMARKS:** VERIFY COLOR USE ON ELEVATIONS AND DETAILS
- COLOR USED FOR TRIM AT SOFFIT
 - COLOR USED FOR PANELS AT SOFFIT
 - COLOR USED FOR WALL TRIM
 - COLOR USED FOR WALL PANELS
 - COLOR USED FOR BRICK COLOR
 - COLOR USED FOR TRIM AT KNEE WALL
 - COLOR USED FOR PANELS AT KNEE WALL
 - COLOR USED FOR SIGN LETTERS
 - COLOR USED FOR INTERIOR WALLS (MATCH EXIST.)
 - COLOR USED FOR INTERIOR TRIM (MATCH EXIST.)

DATE: 04/22/2026

REVISIONS:

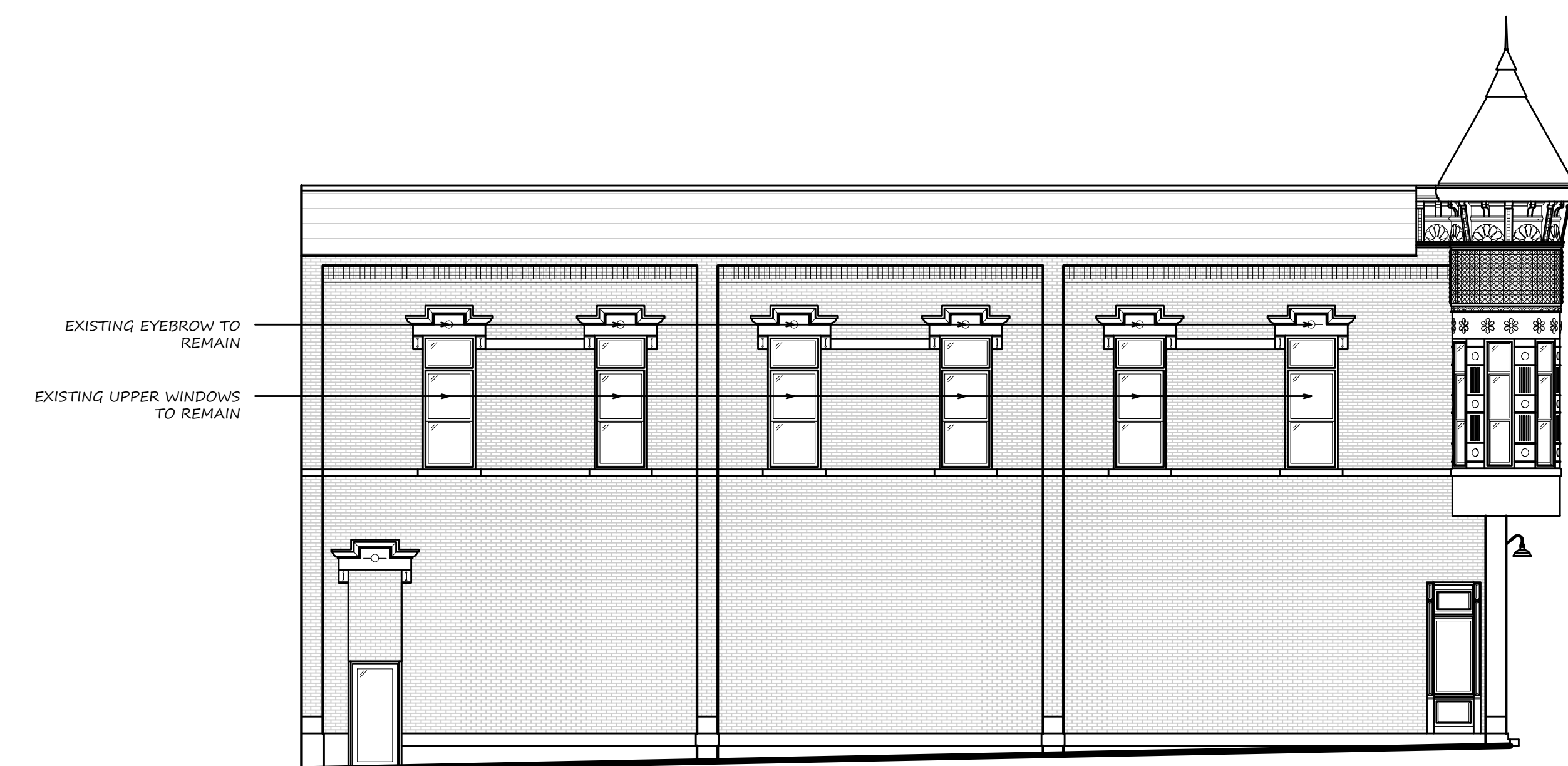
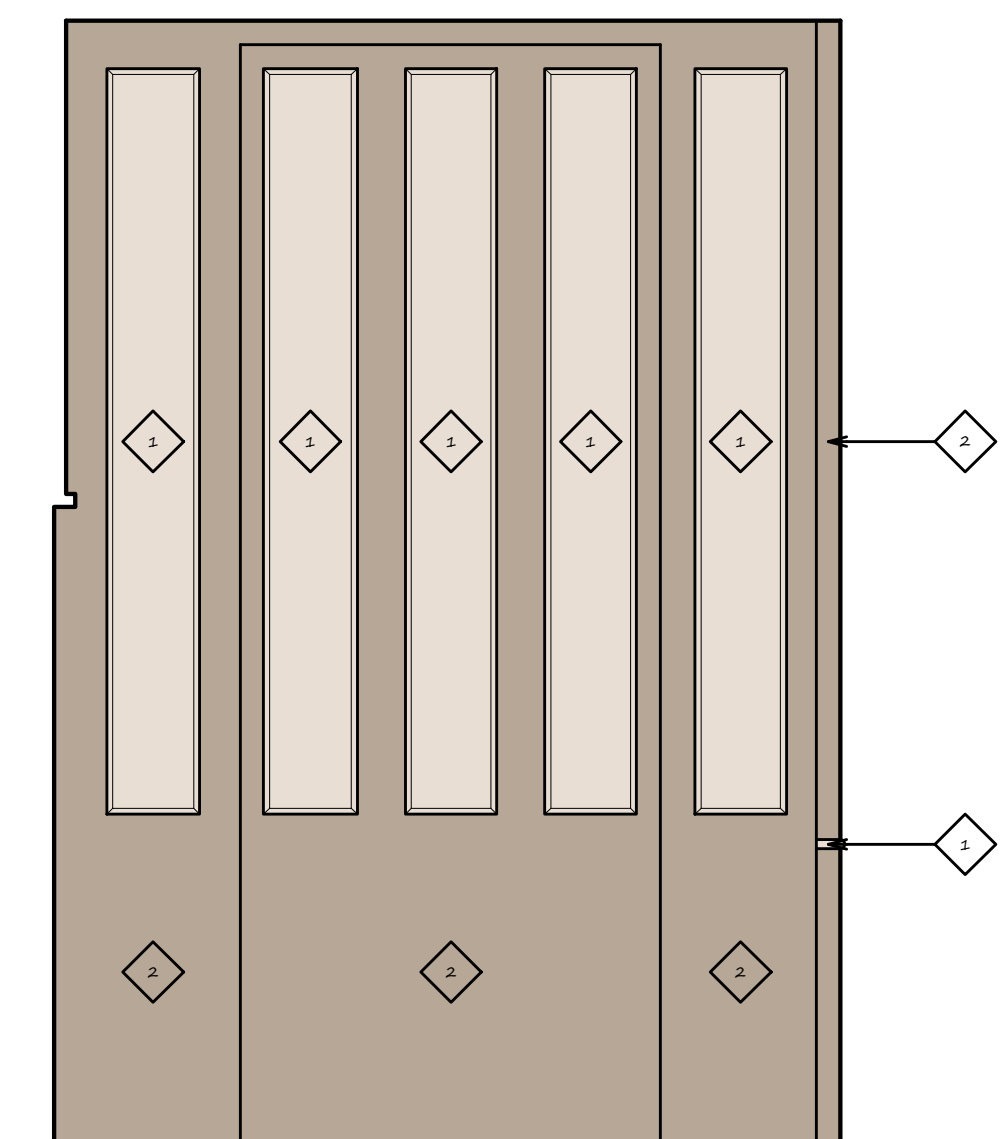
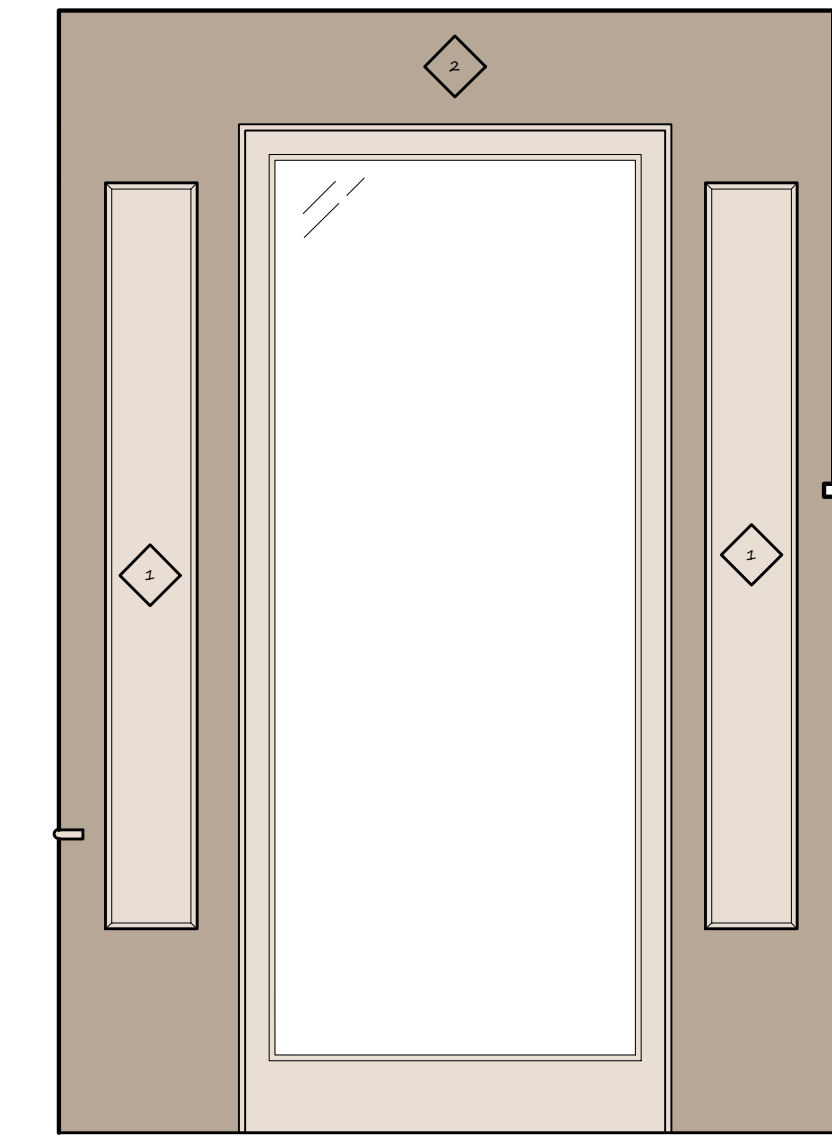
PROJECT # 2503

WALL SECTIONS, DETAILS, & SCHEDULES



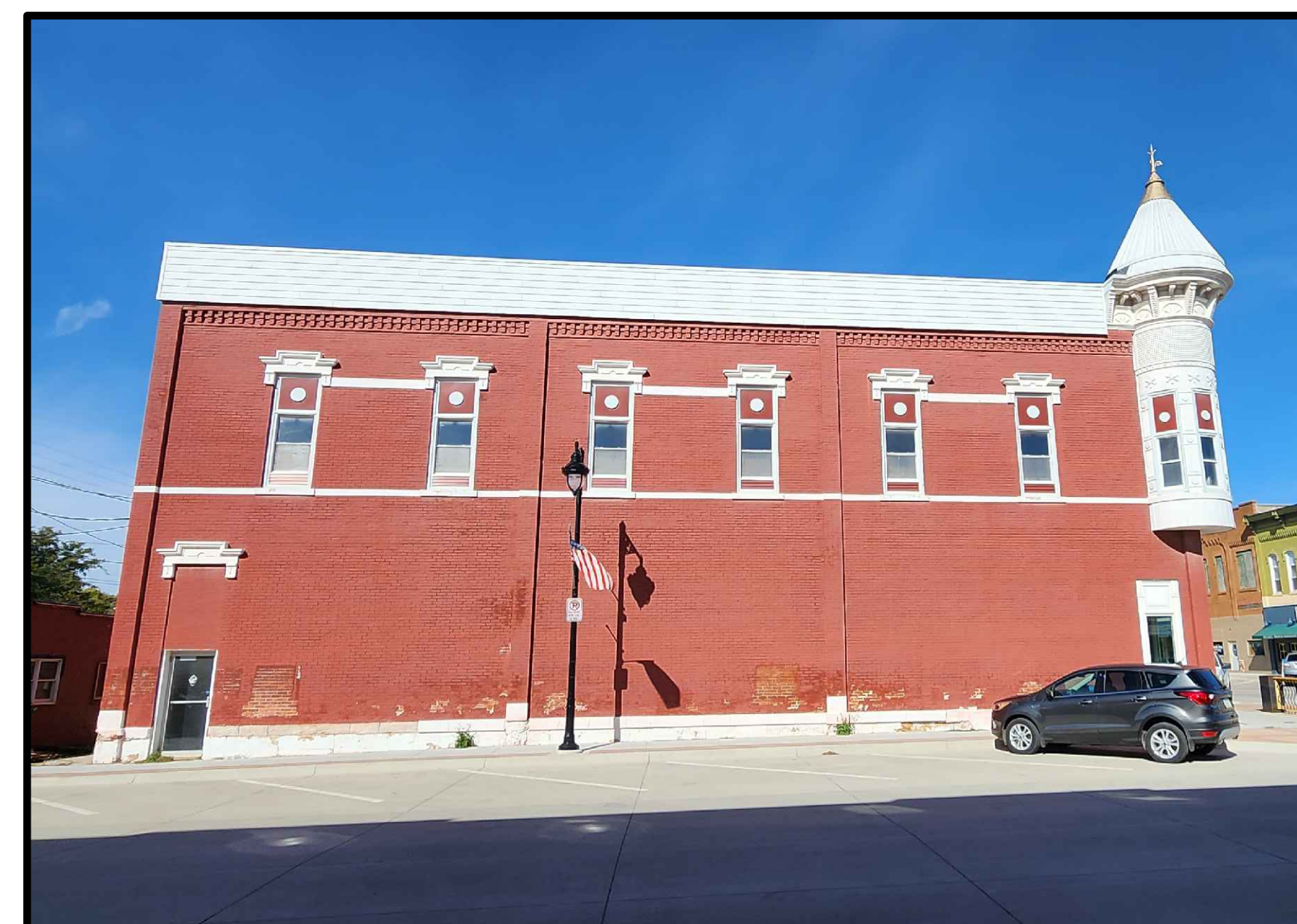
PROPOSED ELEVATION

1/4" = 1'-0"

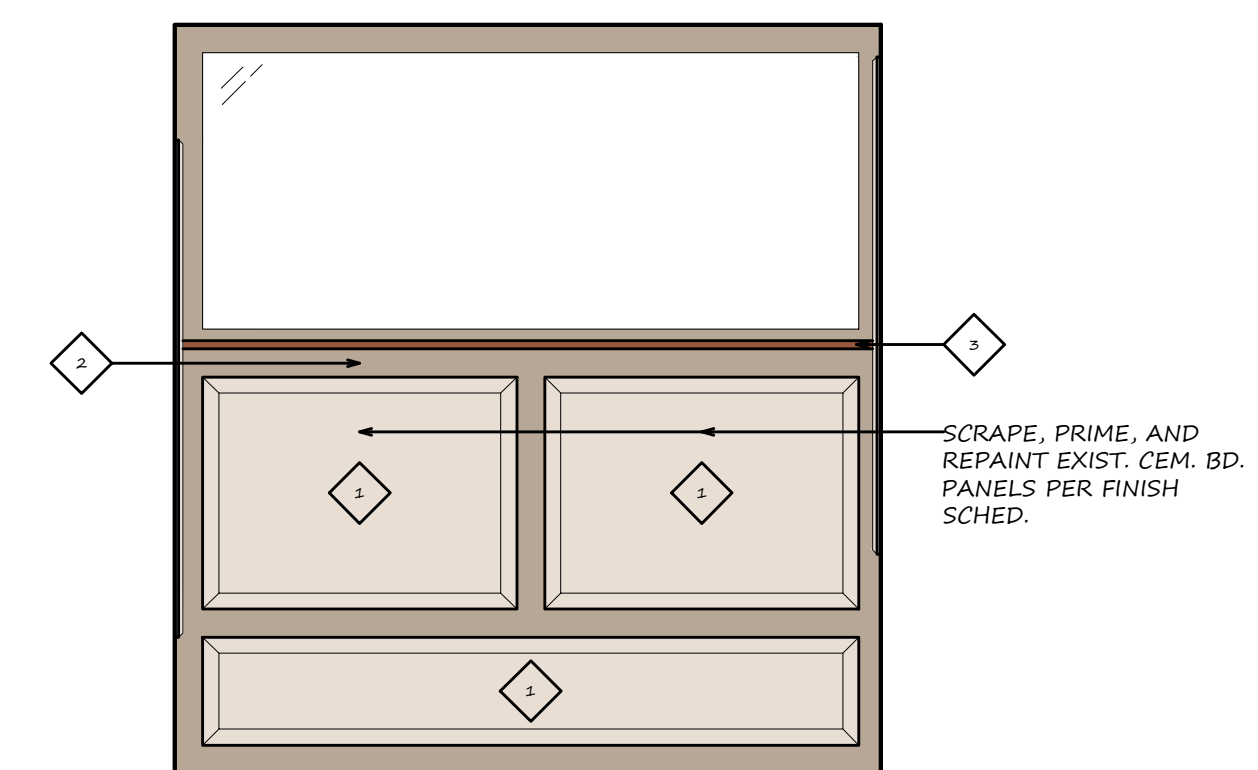


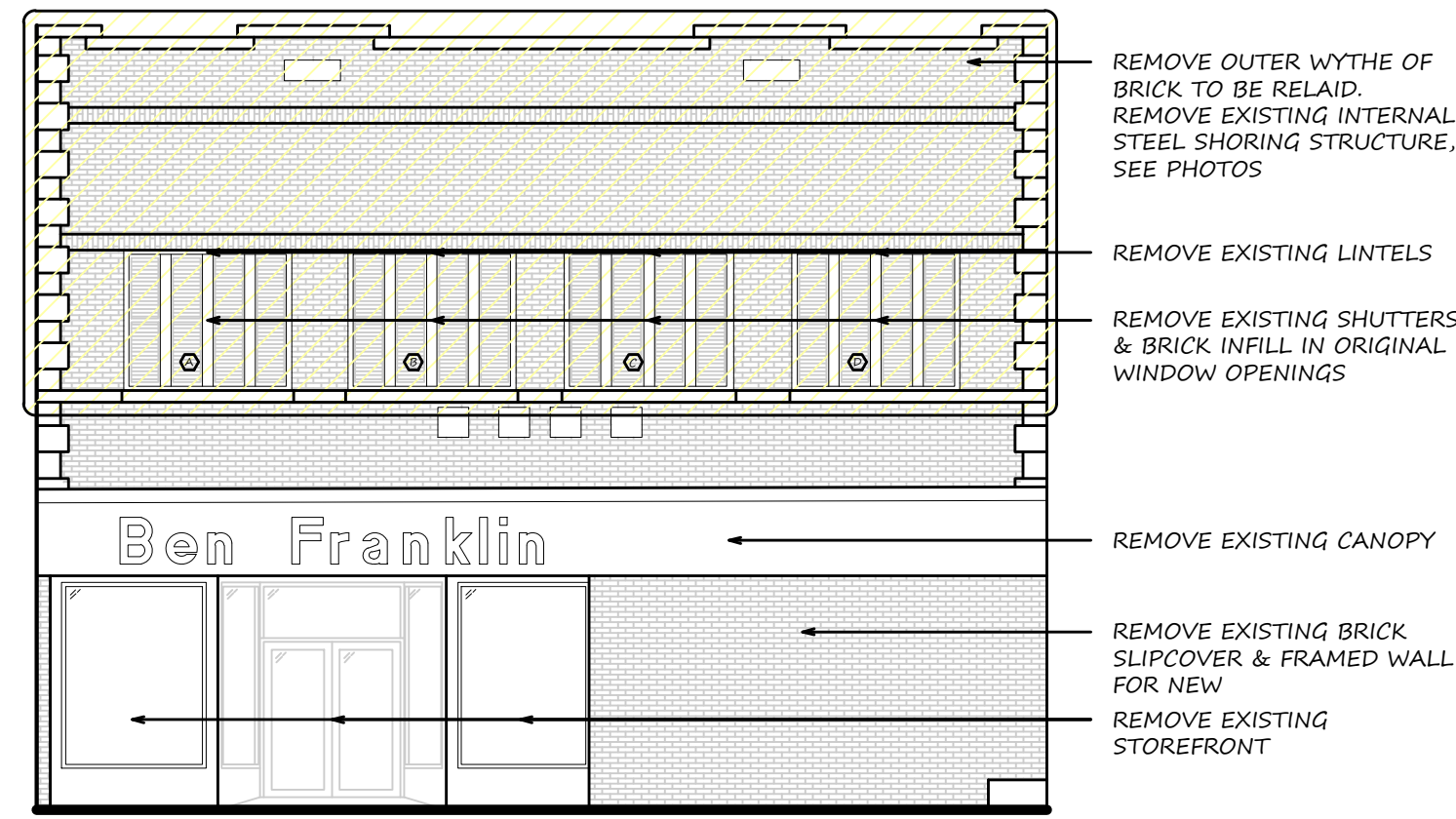
EXISTING ELEVATION

1/8" = 1'-0"



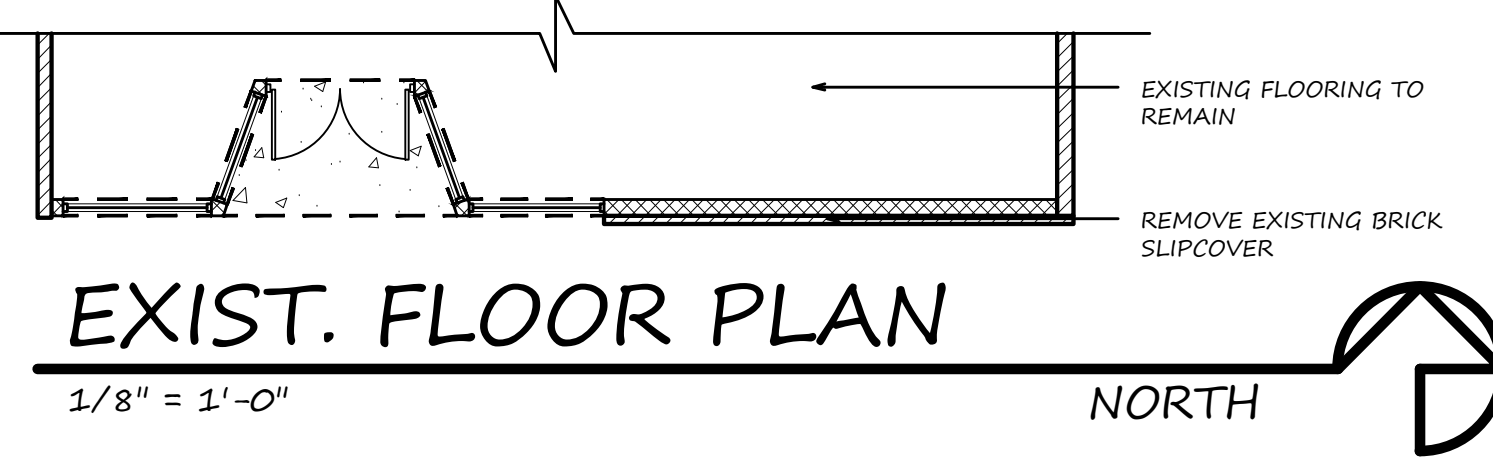
EXISTING PHOTOGRAPH





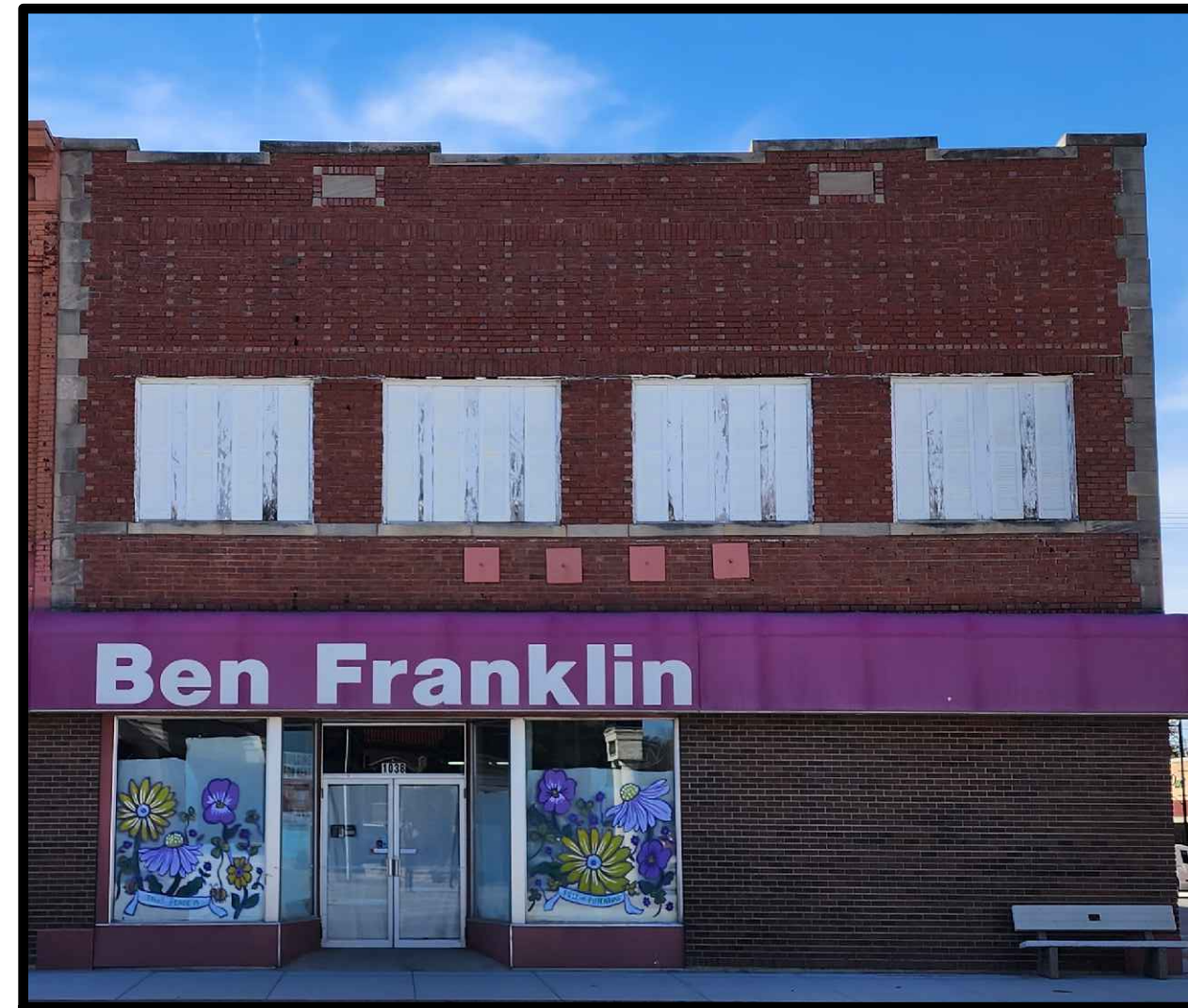
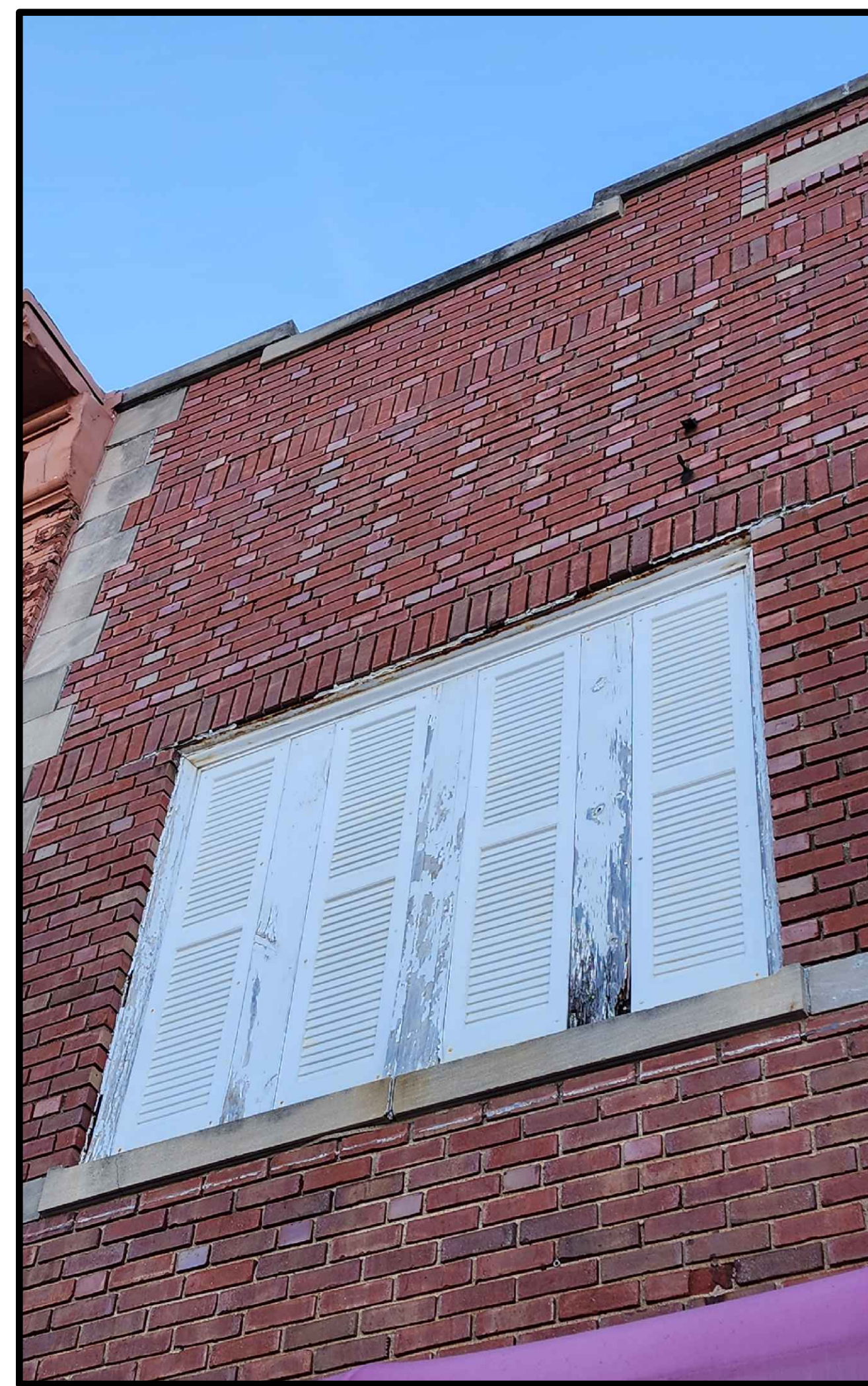
EXISTING ELEVATION

1/8" = 1'-0"

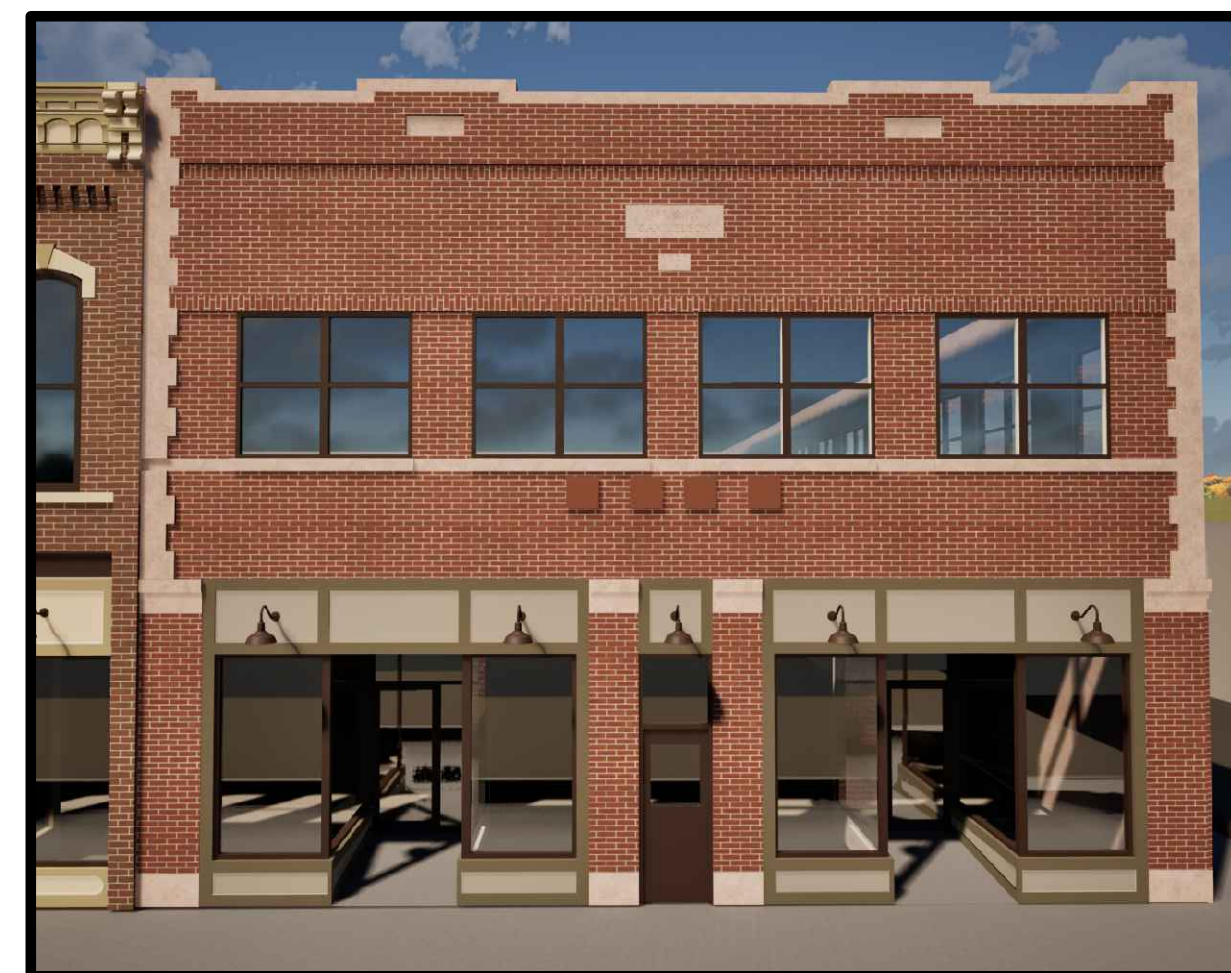


EXIST. FLOOR PLAN

1/8" = 1'-0"



EXISTING PHOTOGRAPH



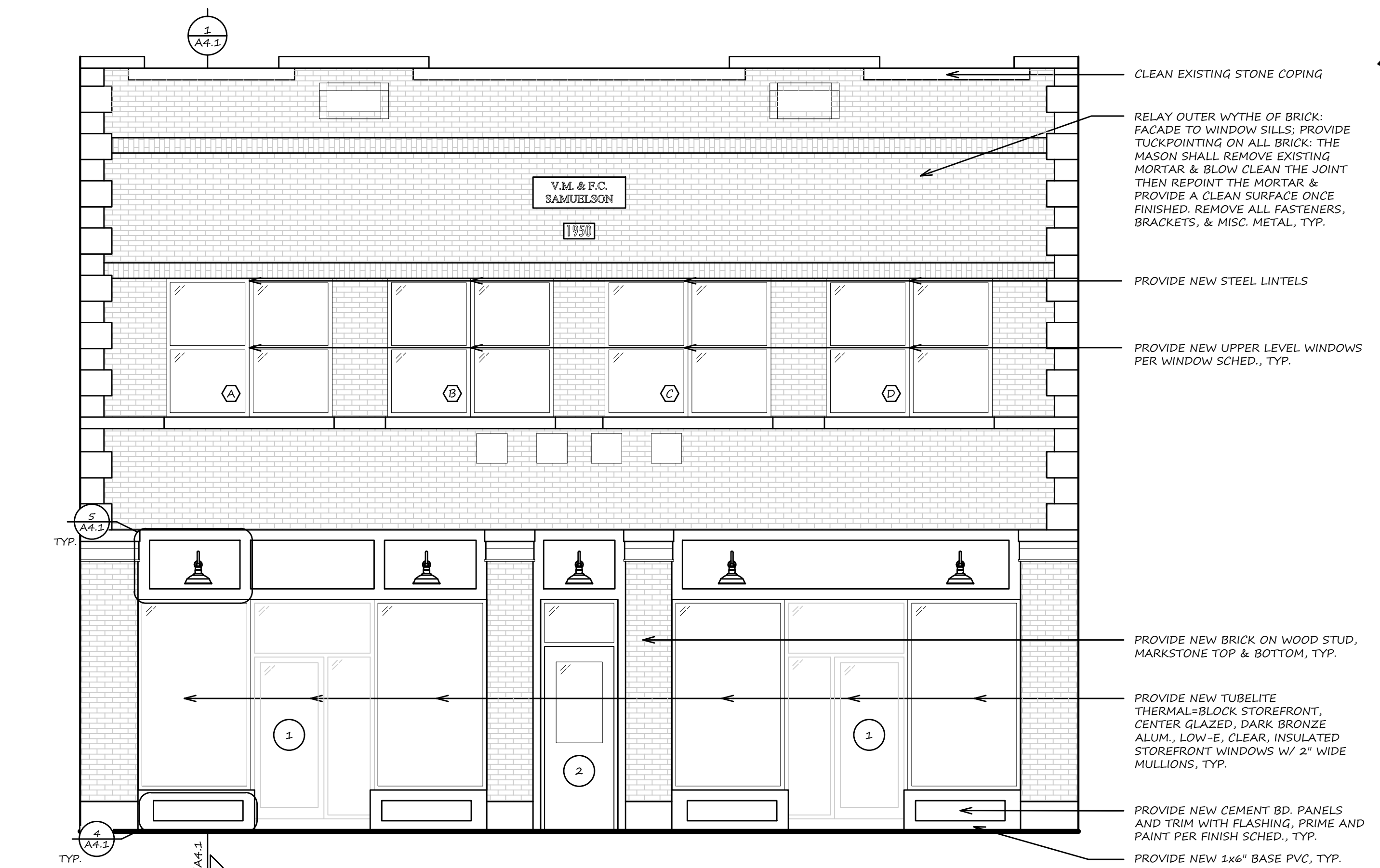
PROPOSED RENDERING

* RENDERINGS ARE A REPRESENTATION OF THE * BUILDING TO SHOW GENERAL DESIGN INTENT. NOT TO BE USED TO BUILD FROM.



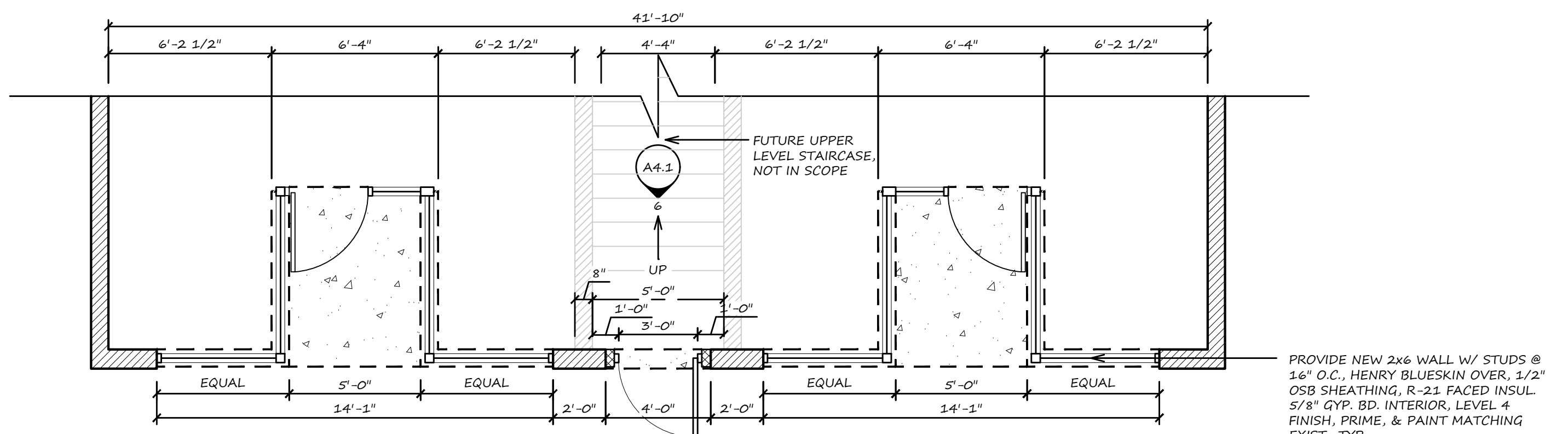
1038 6th ST. LIGHT FIXTURES	
FIXTURE #	LOCATION
BARN LIGHT ELECTRIC COMPANY: THE ORIGINAL WAREHOUSE GOOSENECK LIGHT BLE-FM-WHS19-600-022-NA-NA 12x6 DECORATIVE BACKING PLATE COVER AND CLEAR GLASS	WATER PROOF GOOSENECK WALL SCONCE
RP LIGHTING 8734-08-90-4K	WATER PROOF CEILING MOUNT

LIGHTING SCHEDULE



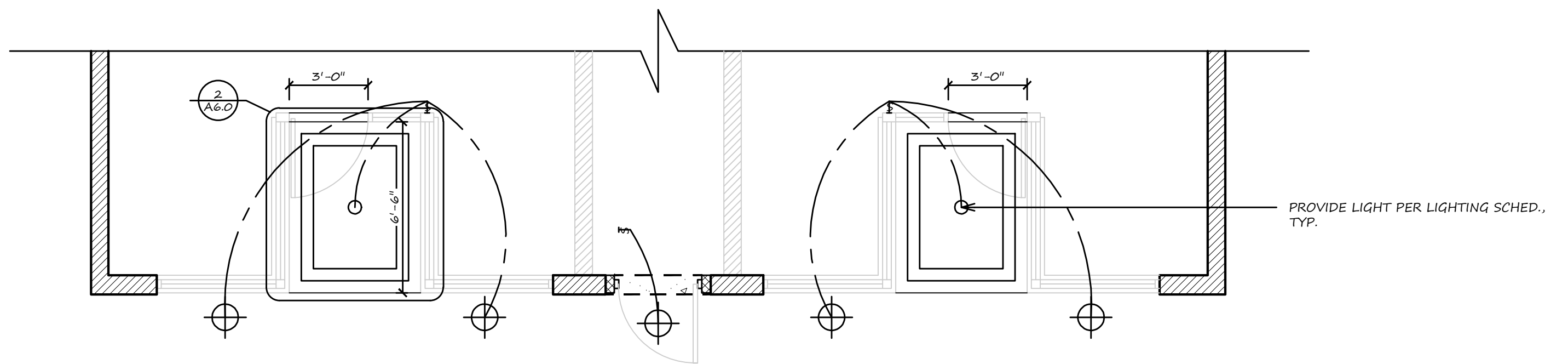
PROPOSED ELEVATION

1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/4" = 1'-0"



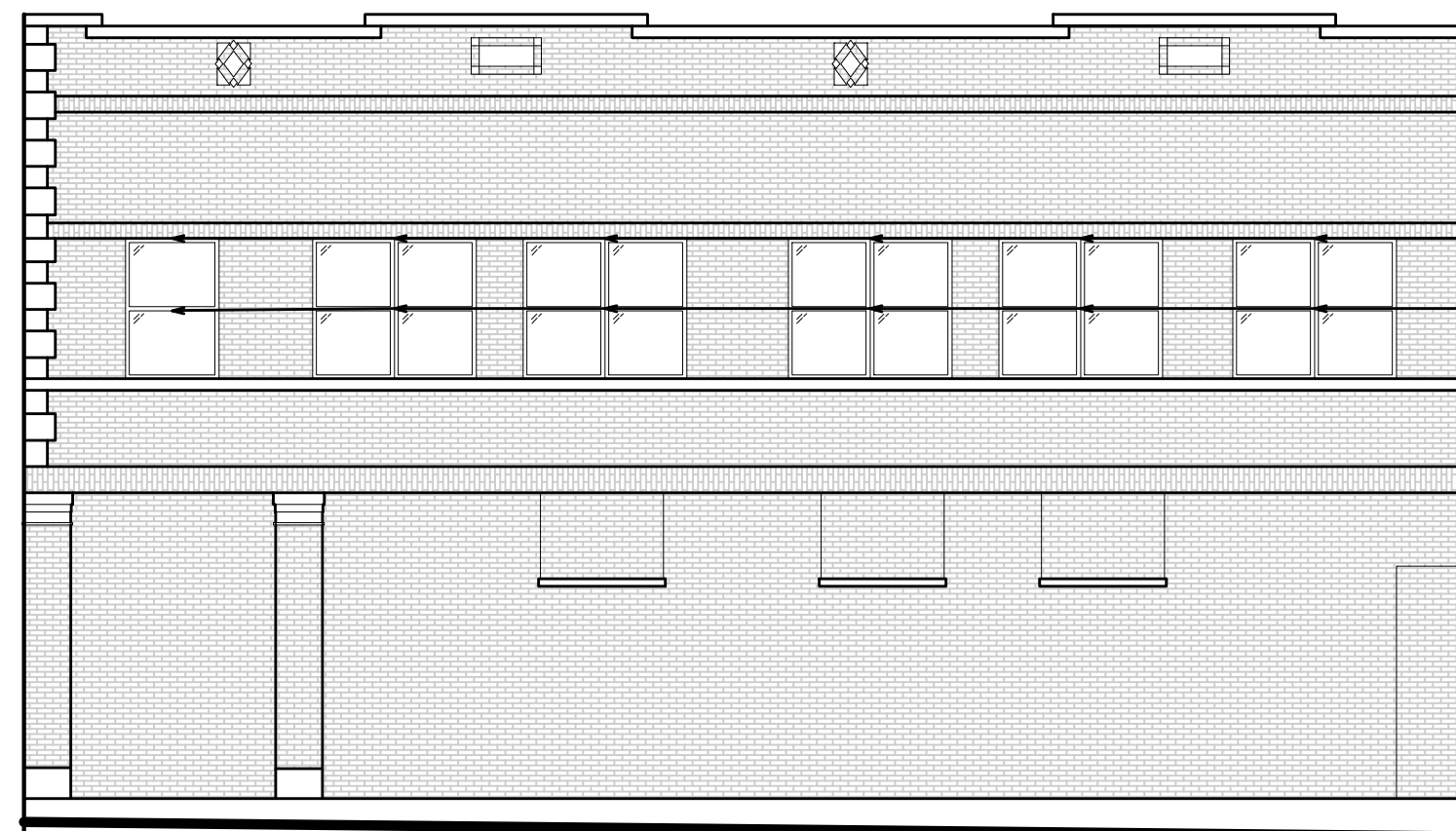
PROPOSED REFLECTED CEILING PLAN

1/4" = 1'-0"

DATE: 04/22/2026

REVISIONS:

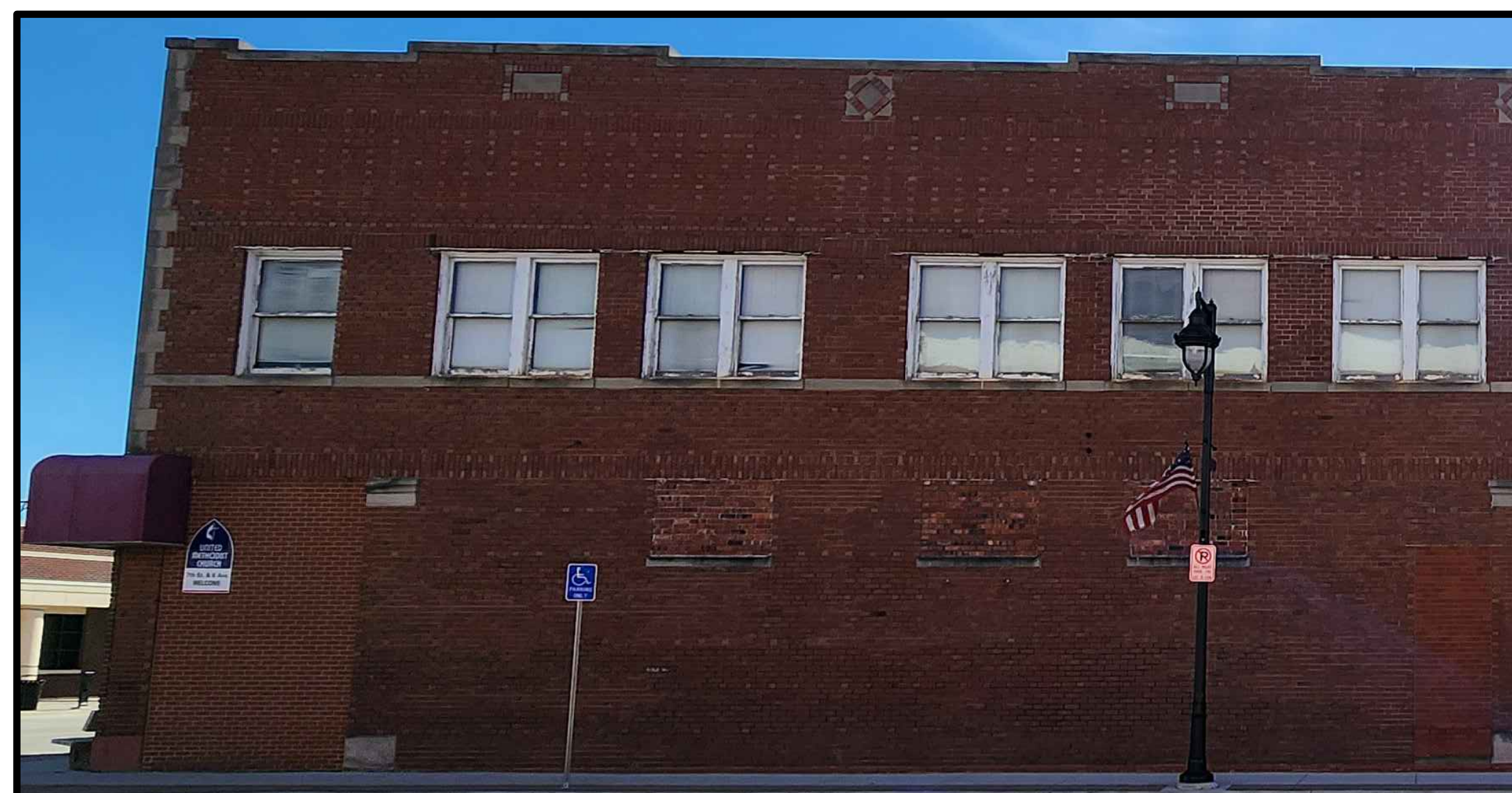
PROJECT # 2503
 PLANS & ELEVATIONS



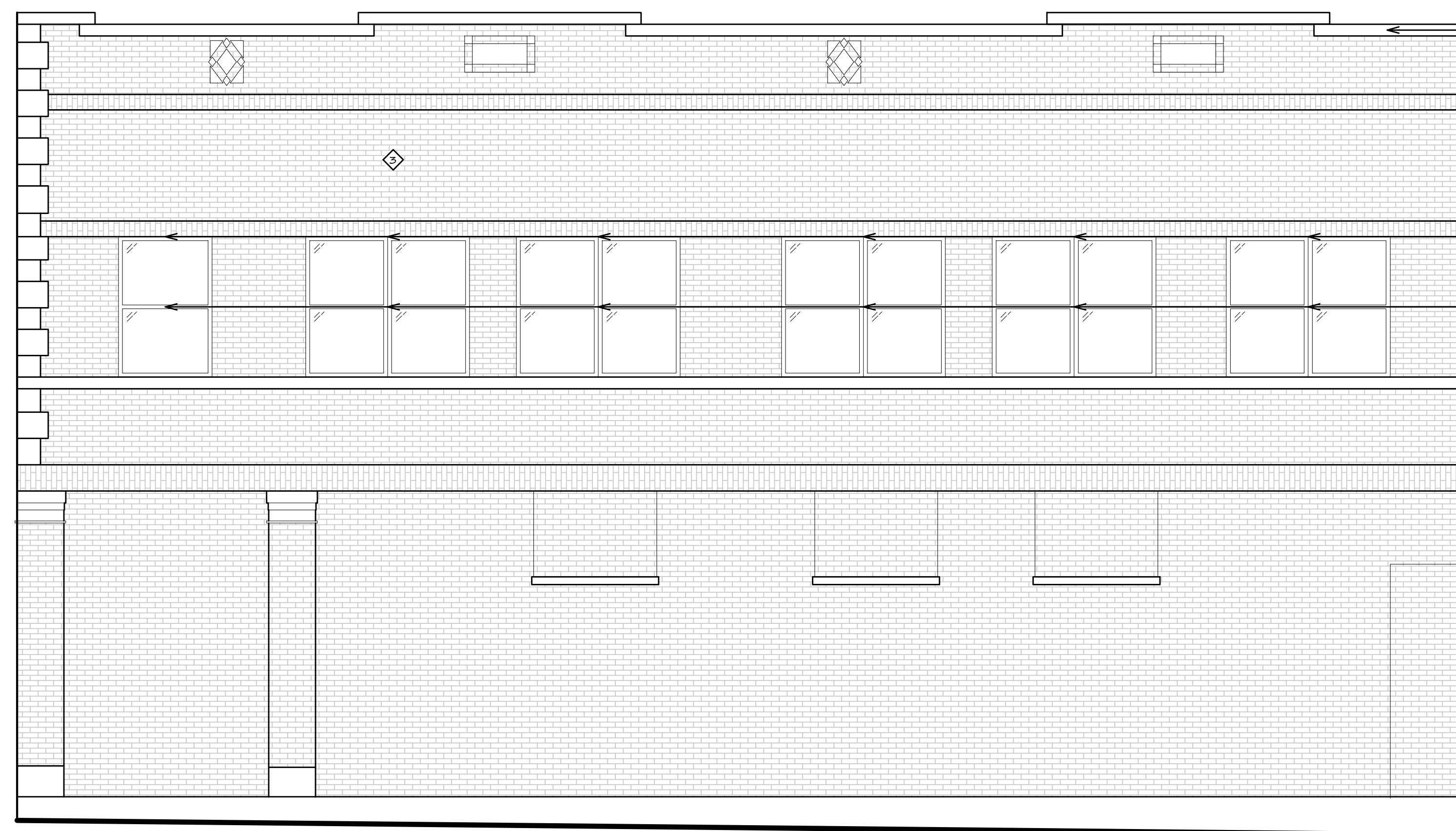
REMOVE EXISTING LINTELS, TYP.
 REMOVE EXISTING WINDOWS, TYP.

EXISTING ELEVATION

1/8" = 1'-0"



EXISTING PHOTOGRAPH



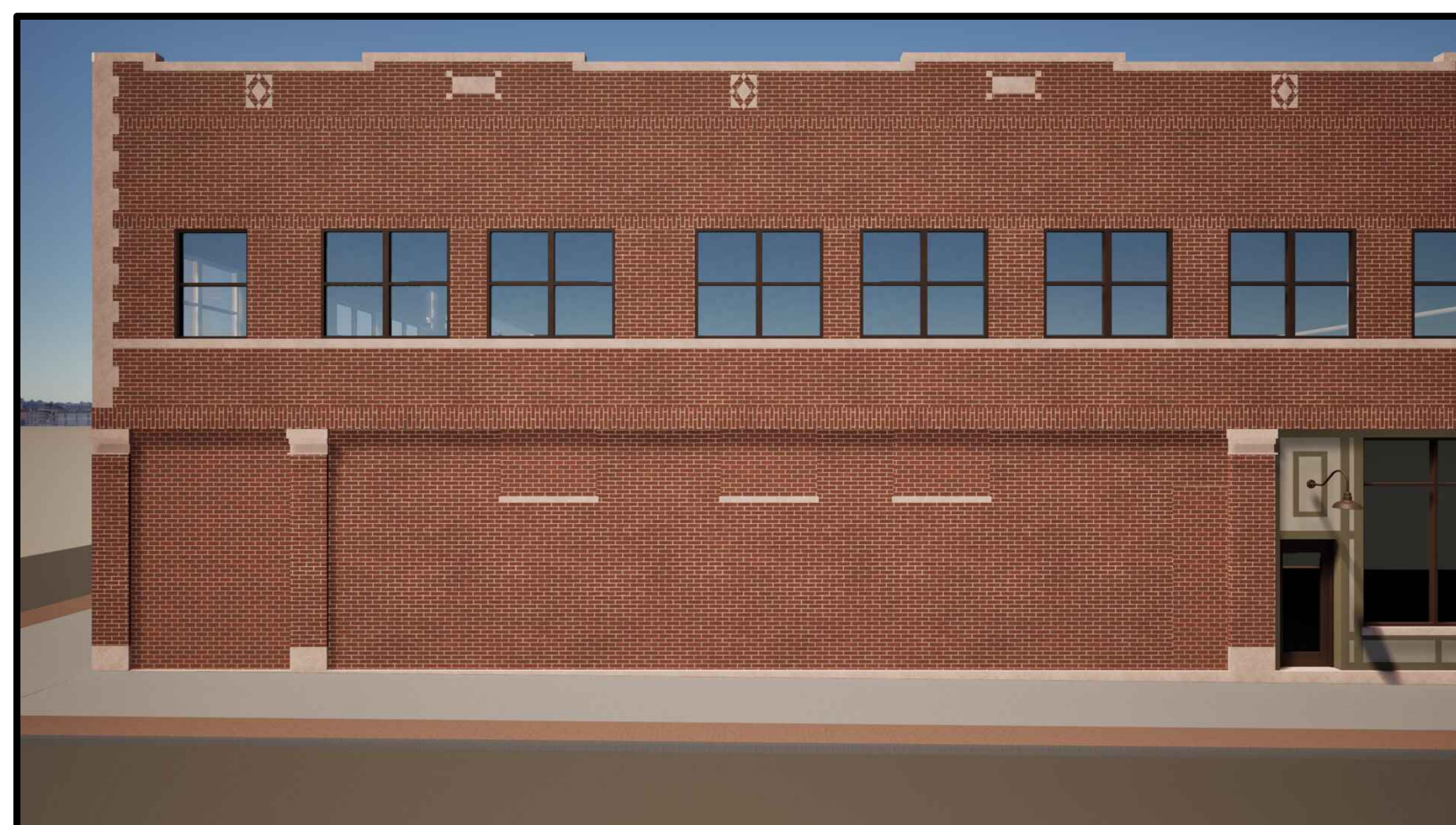
CLEAN EXISTING STONE COPING CAP, TYP.

PROVIDE NEW STEEL LINTELS, TYP.

PROVIDE NEW UPPER LEVEL WINDOWS PER WINDOW SCHED., TYP.

PROPOSED ELEVATION

1/4" = 1'-0"



PROPOSED RENDERING

* RENDERINGS ARE A REPRESENTATION OF THE BUILDING TO SHOW GENERAL DESIGN INTENT. * NOT TO BE USED TO BUILD FROM.

NEVADA FACADE IMPROVEMENTS

1038 6TH ST, NEVADA, IOWA, 50201

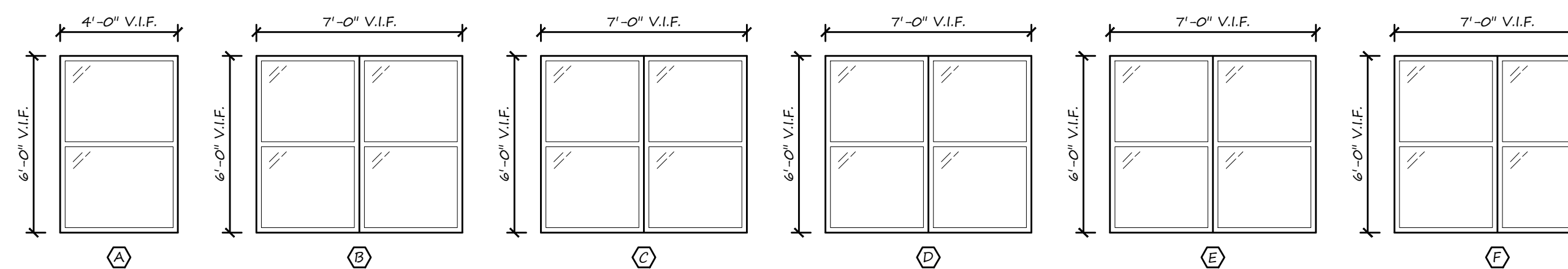
DATE: 04/22/2026

REVISIONS:

PROJECT # 2503

PLANS & ELEVATIONS

A4.2



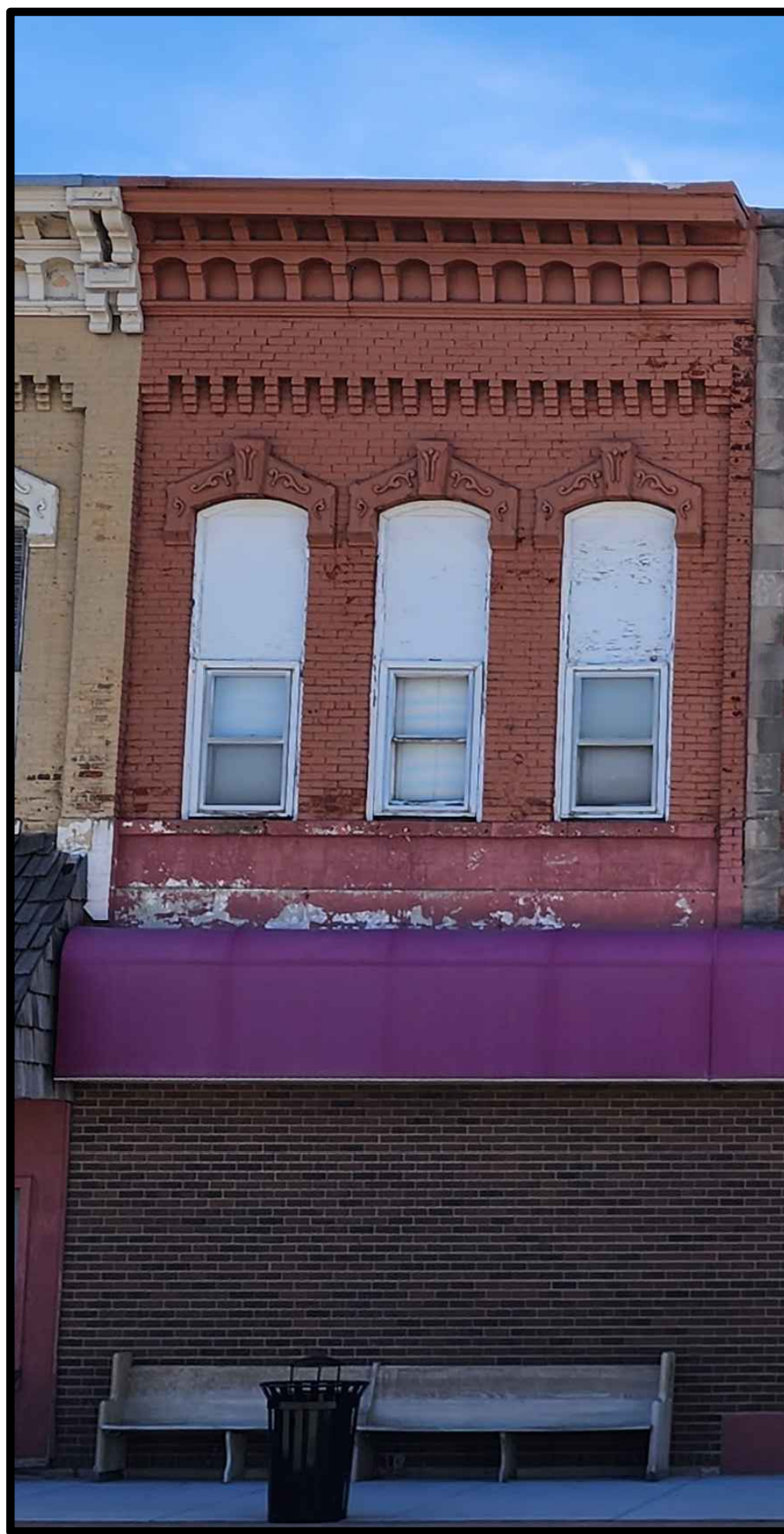
1038 6th ST. WINDOW SURVEY

#	LOCATION				WINDOW TYPE	MATERIAL	SIZE		BALANCE	FIT	OPERATION (Y/N)	HARDWARE	GLASS	FINISH - INSIDE		FINISH - OUTSIDE		SASH	FRAME	SUMMARY	REMARKS
	NORTH	EAST	SOUTH	WEST			WIDTH	HEIGHT *						PAINT	STAIN	PAINT	STAIN				
A	X				DBL-HUNG	WOOD	48"	72"													1
B	X				DBL-HUNG	WOOD	84"	72"													1
C	X				PIVOT	WOOD	84"	72"													1
D	X				PIVOT	WOOD	84"	72"													1
E	X				PIVOT	WOOD	84"	72"													1
F	X				PIVOT	WOOD	84"	72"													1
6 SIGNIFICANT AND NON-SIGNIFICANT TOTALS																					
6																					6 REPAIR GLASS AND CONDITION TOTAL

WINDOW NOTES
 - VERIFY ALL WINDOWS AND OPENINGS.
 - VERIFY ALL WINDOWS AND FINISHES W/ EXISTING AND ARCHITECT.
 - ALL WINDOWS ARE TO FIT IN EXISTING OPENINGS, PROVIDE BRICKMOLD TRIM AROUND JAMBS AND HEADER.

WINDOW REMARKS
 * EXISTING WINDOW OPENINGS ARE FRAMED IN, THE HEIGHT SHOWN IS THE EXISTING CONDITION. ALL NEW WINDOWS HEIGHTS ARE TO BE VERIFIED PRIOR TO ORDERING.
 1. NEW MARVIN ALUM. CLAD ULTIMATE SINGLE HUNG G2 WINDOWS, LOW-E, INSULATED, CLEAR, HISTORICAL COLOR: BRONZE, PRIMED WHITE INTERIOR W/ BRONZE LOCKS AND LIFTS, MARVIN BRIGHT-VIEW SCREEN, COLOR TO MATCH EXTERIOR CLADDING

WINDOW SURVEY / SCHEDULE

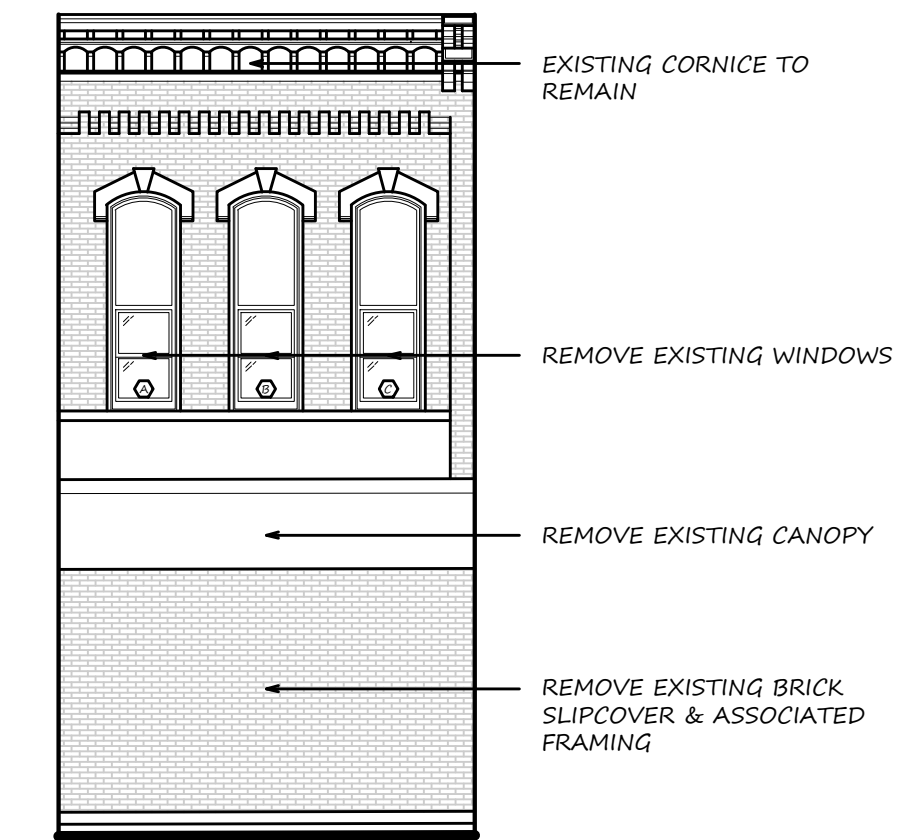
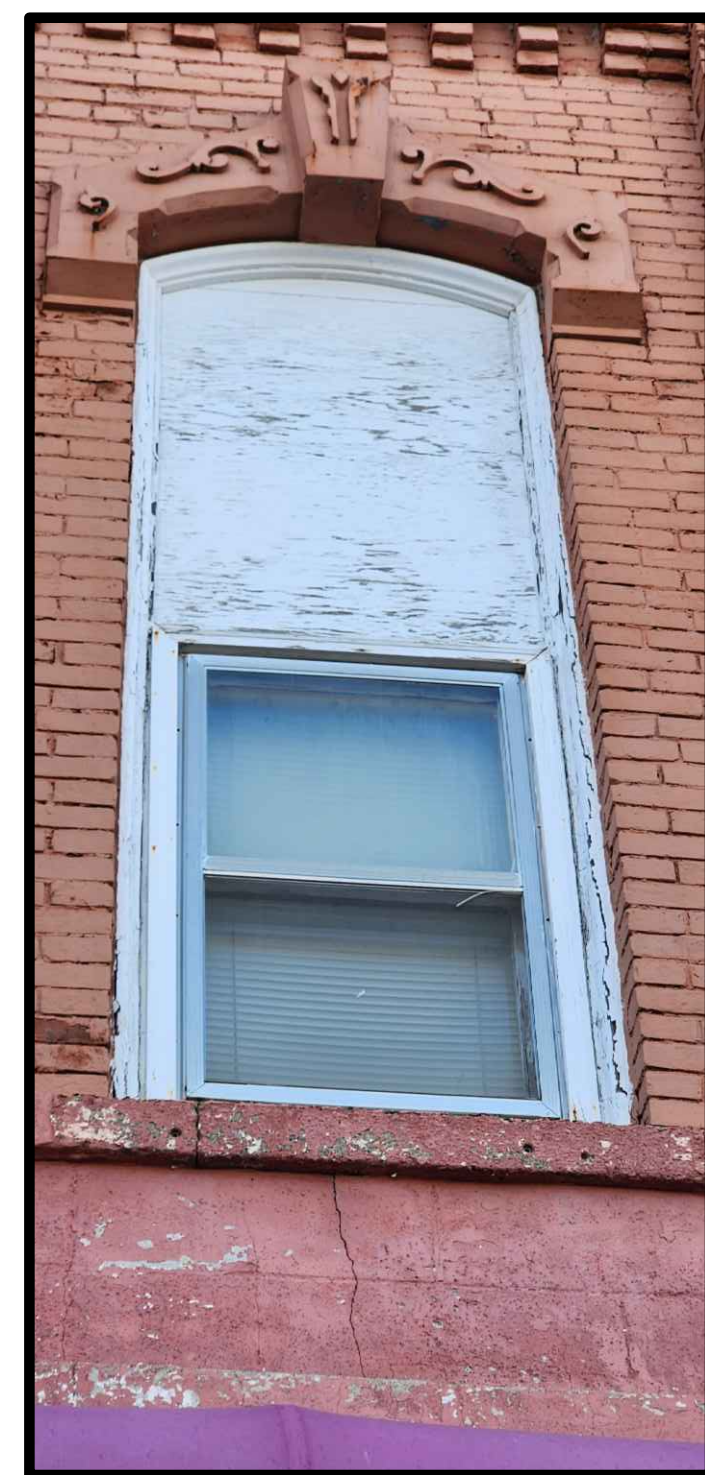


EXISTING PHOTOGRAPH



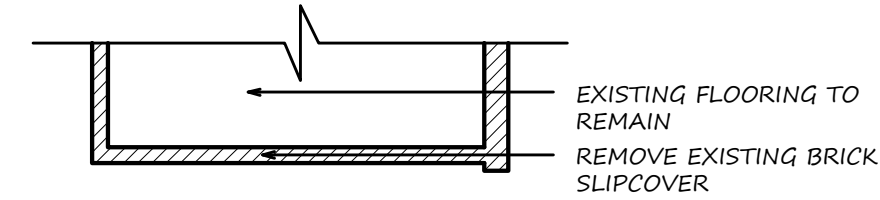
PROPOSED RENDERING

* RENDERINGS ARE A REPRESENTATION OF THE BUILDING TO SHOW GENERAL DESIGN INTENT. NOT TO BE USED TO BUILD FROM.



EXIST. ELEVATION

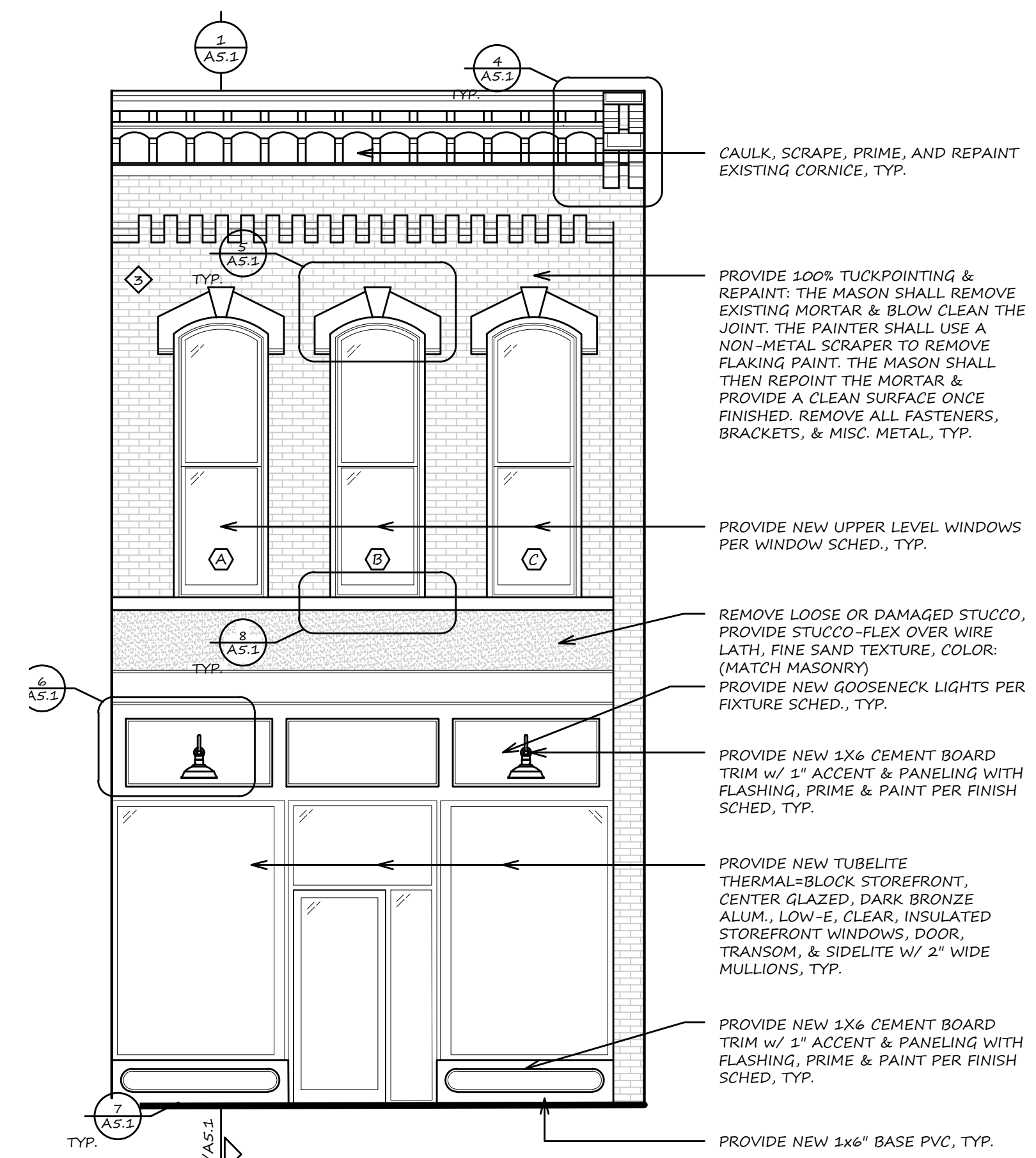
1/8" = 1'-0"



EXIST. FLOOR PLAN

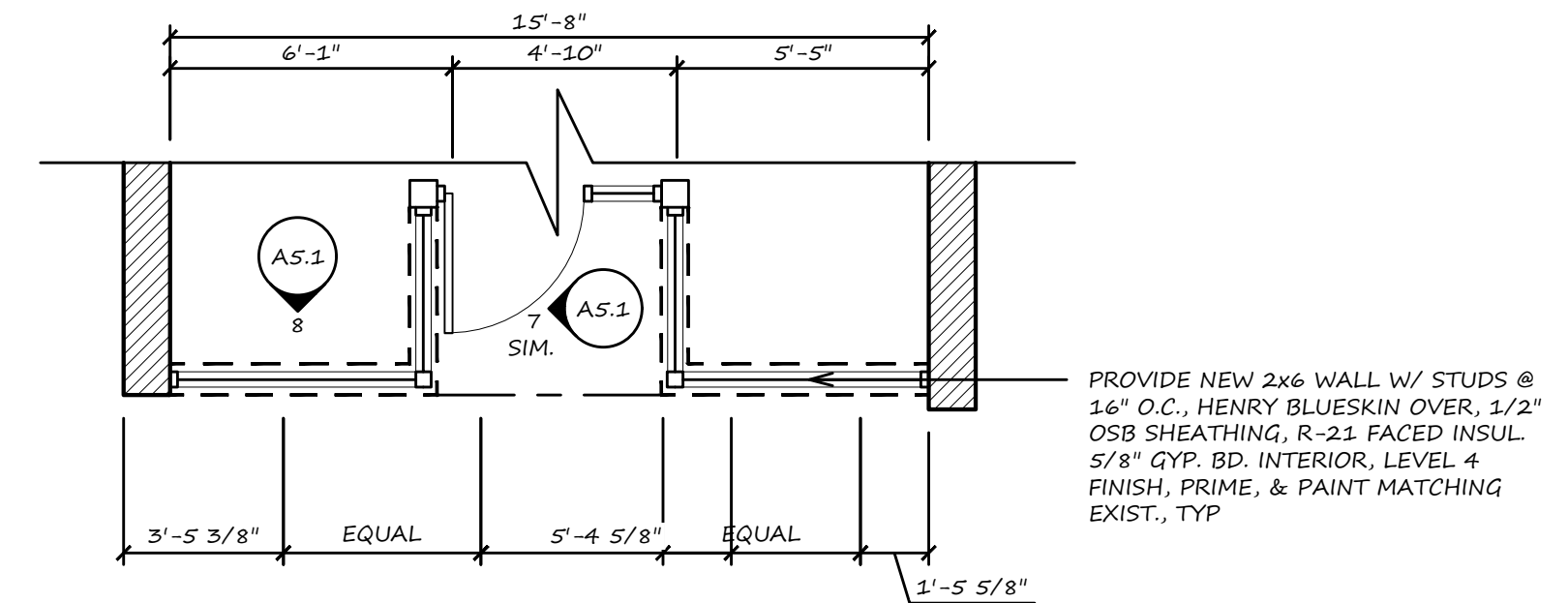
1/8" = 1'-0"

NORTH



PROPOSED ELEVATION

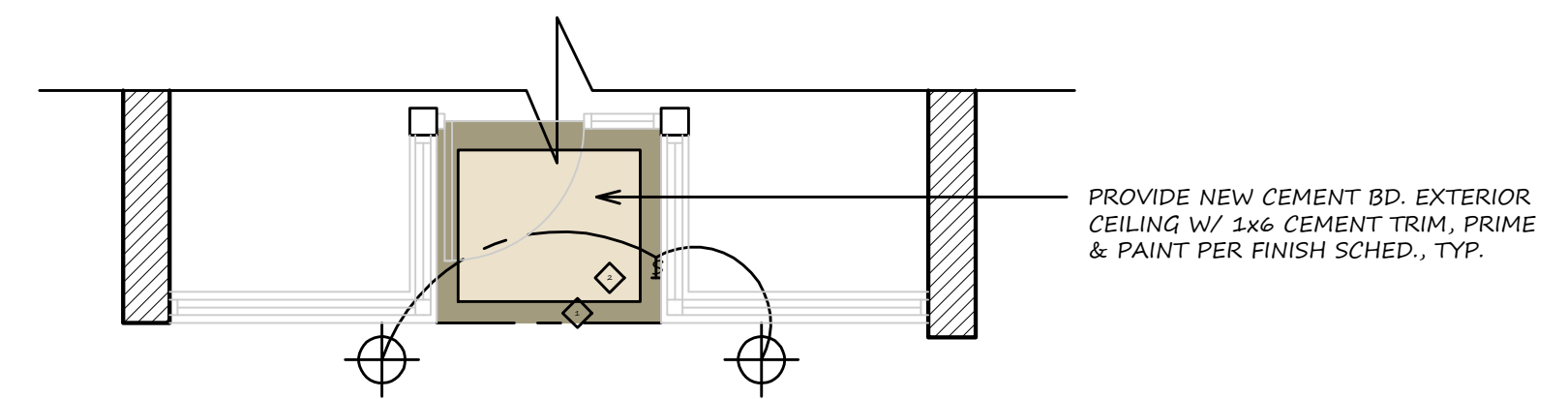
1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/4" = 1'-0"

NORTH



PROPOSED REF. CEIL. PLAN

1/4" = 1'-0"

NORTH

1032 6th ST. FINISH SCHEDULE					
NO.	COLOR	PRIMER	FINISH	COATS	REMARKS
1	SW 2829	EXTERIOR	SATIN	2	2,4,7
2	SW 2826	EXTERIOR	SATIN	2	1,3,6
3	SW 2836	EXTERIOR	SATIN	2	5
4	SW 7005	EXTERIOR	SATIN	2	1,3,6

FINISH SCHEDULE

REMARKS: VERIFY COLOR USE ON ELEVATIONS AND DETAILS

- COLOR USED FOR TRIM AT SOFFIT
- COLOR USED FOR PANELS AT SOFFIT
- COLOR USED FOR WALL TRIM
- COLOR USED FOR WALL PANELS
- COLOR USED FOR BRICK COLOR
- COLOR USED FOR TRIM AT KNEE WALL
- COLOR USED FOR PANELS AT KNEE WALL
- COLOR USED FOR SIGN LETTERS
- COLOR USED FOR INTERIOR WALLS (MATCH EXIST)
- COLOR USED FOR INTERIOR TRIM (MATCH EXIST)

1032 6th ST. DOOR SCHEDULE											
#	OPENING SIZE	DOOR				FRAME			HARDWARE		
		SWING	MAT'L	FINISH	TYPE	STILE	MAT'L	FINISH	LOCKSET	PUSH/PULL	CLOSER
1	3'-0" x 7'-0" x ± 3/4"	RHR	ALUM SF	D BRONZE	FULL GLASS	MEDIUM	ALUM	D BRONZE	1	2	3

OPENING SCHEDULE

HARDWARE SPECIFICATIONS:

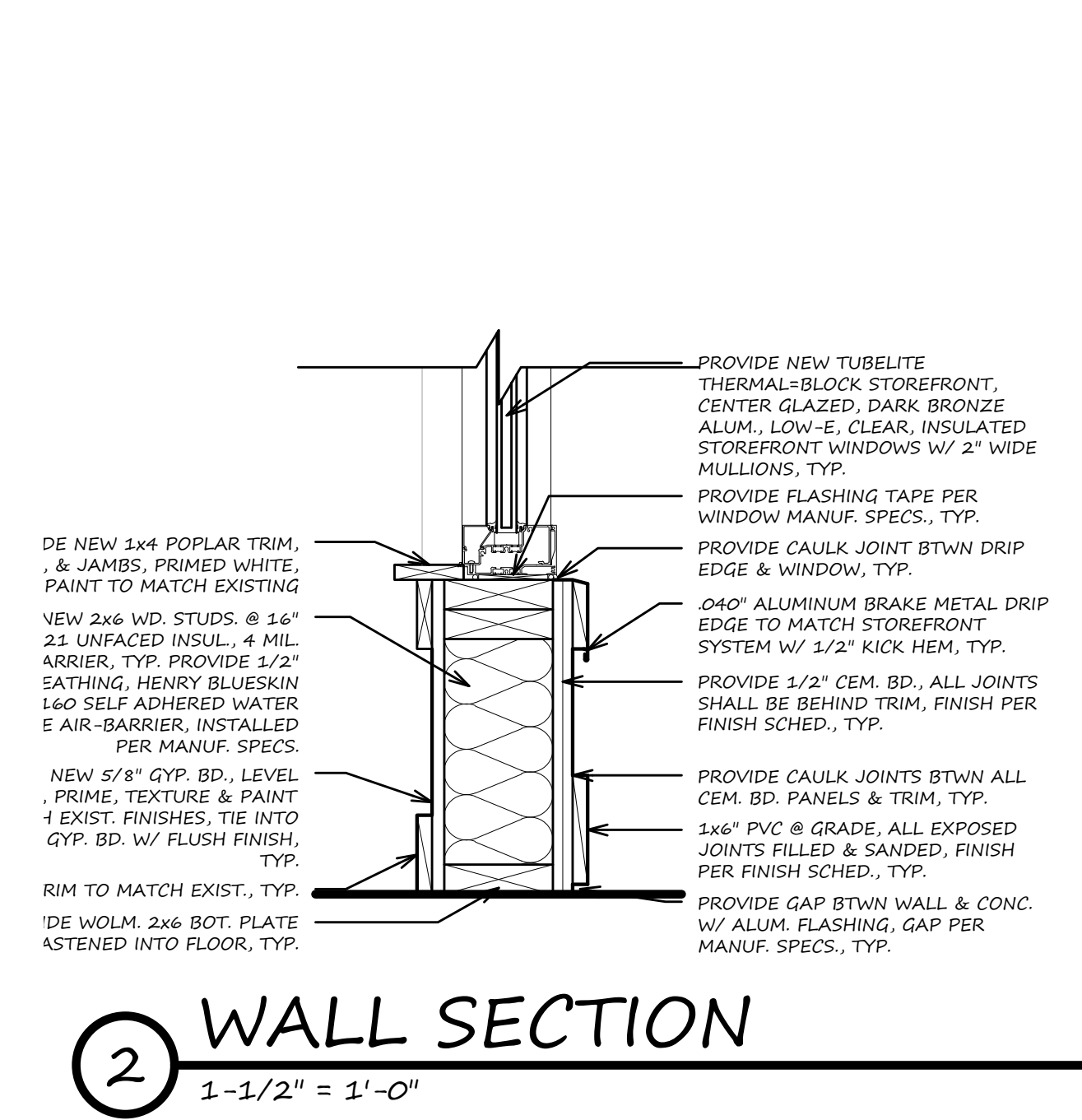
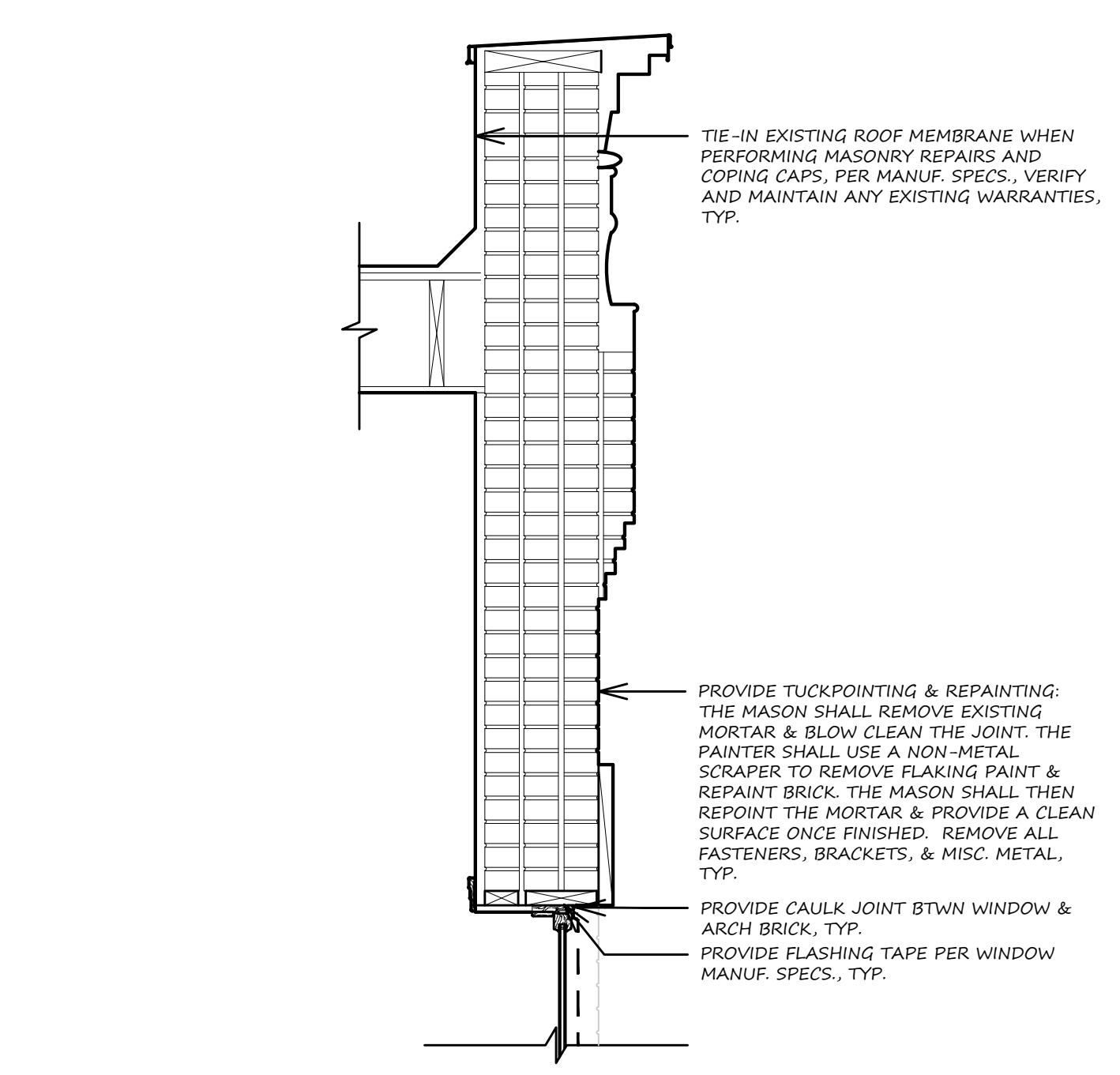
- MANUFACTURE STANDARD LOCKSET FINISH: #40 DARK BRONZE
- PUSH/PULL: PULL - KAWNEER CO-9, PUSH - FALCON 1740 RIM EXIT DEVICE FINISH: #40 DARK BRONZE
- CLOSER: LCN 4040 XP FINISH: #40 DARK BRONZE

REMARKS

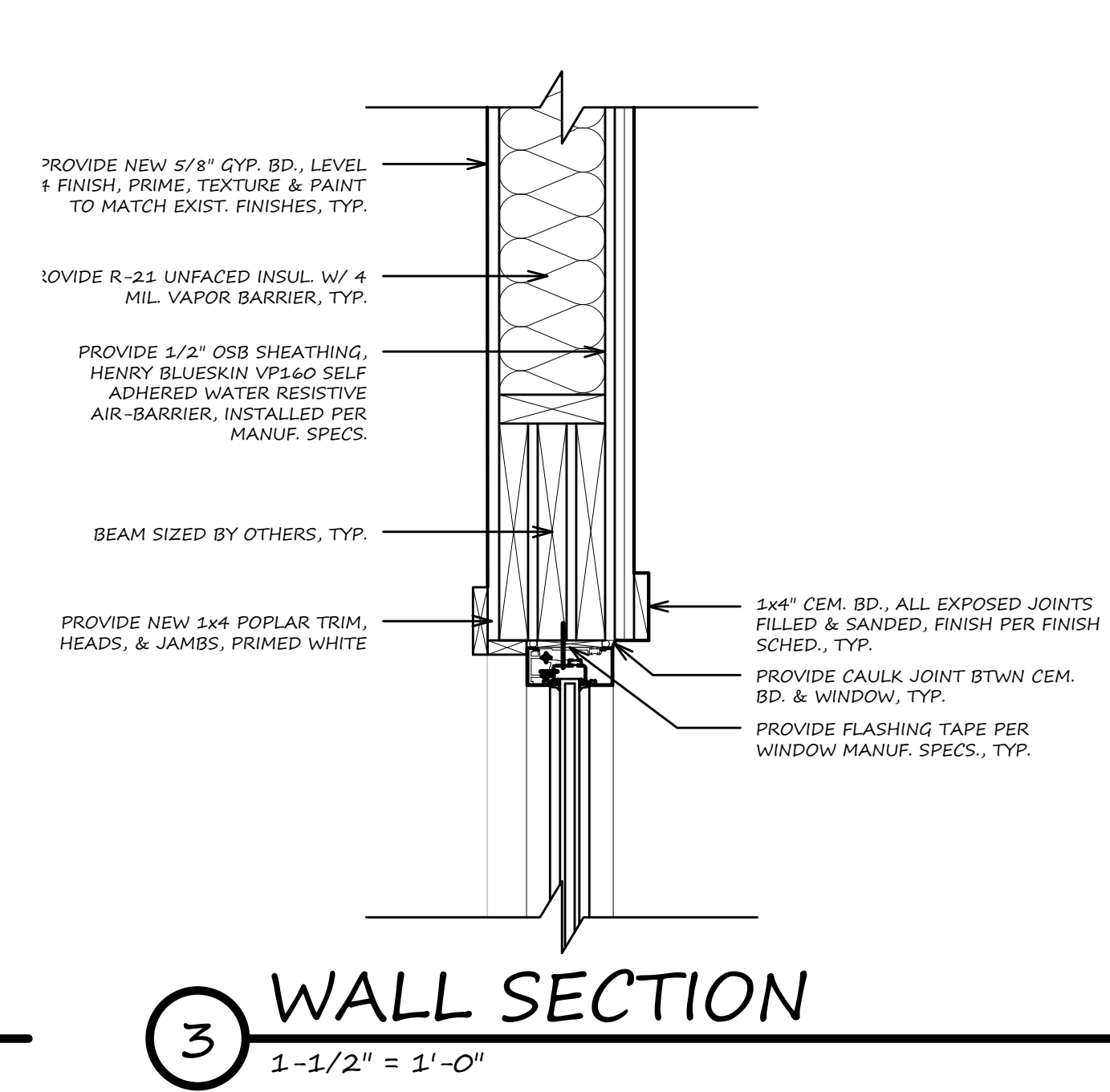
- TUBELITE THERMAL-BLOCK STOREFRONT ENTRY DOOR, LOW-E, CLEAR, INSULATED, CONCEALED SCREW WEATHER STRIP, & STANDARD THRESHOLD TO MATCH COLOR OF DOOR, PROVIDE TRANSOM, VERIFY TRANSOM SIZE IN FIELD.

1032 6th ST. LIGHT FIXTURES	
FIXTURE #	LOCATION
BARN LIGHT ELECTRIC COMPANY: THE ORIGINAL WAREHOUSE GOOSENECK LIGHT BLE-FM-WHS18-600-G22-NA-NA-E26 DECORATIVE BACKING PLATE COVER AND CLEAR GLASS	WATER PROOF GOOSENECK WALL SCENCE

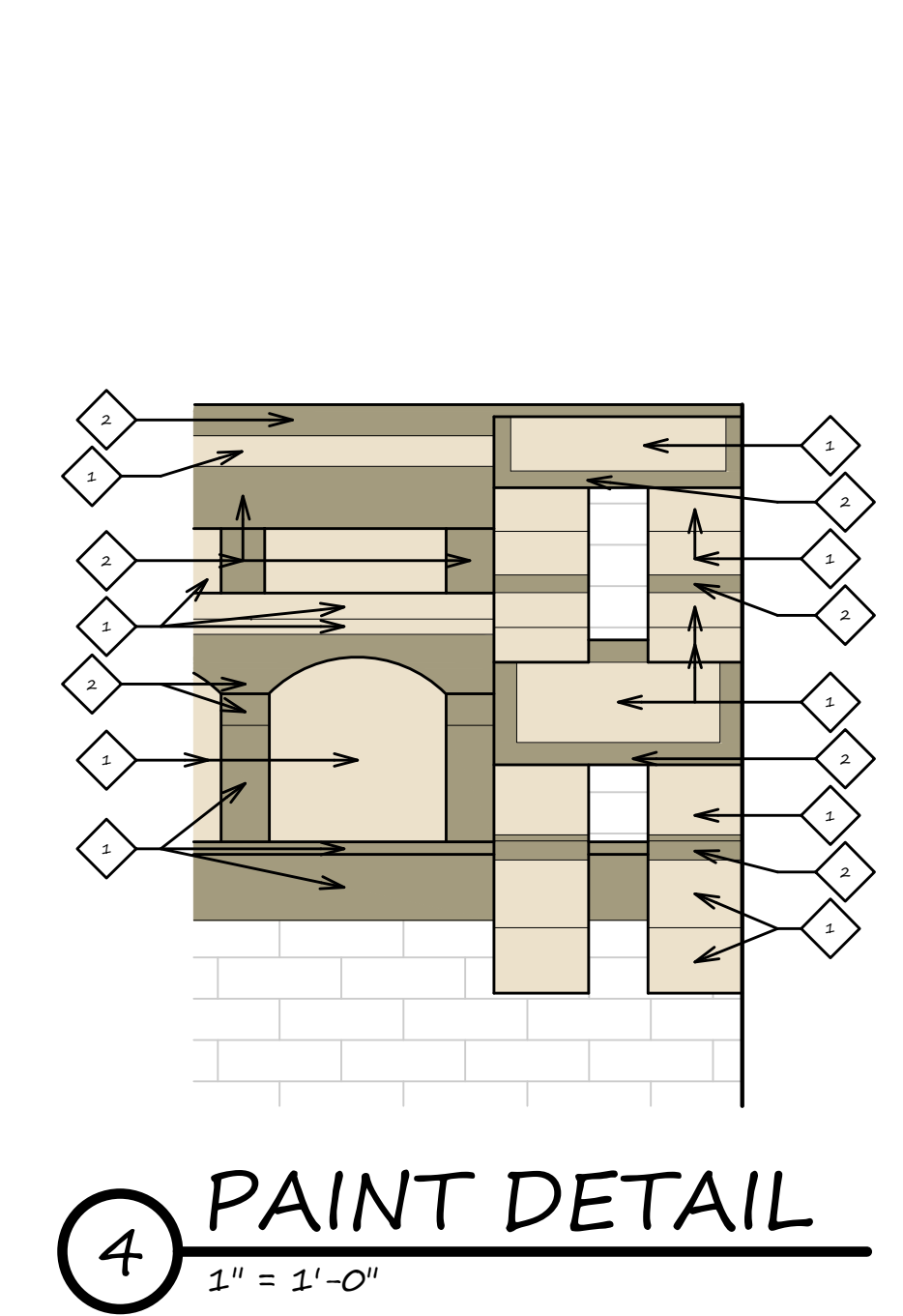
LIGHTING SCHEDULE



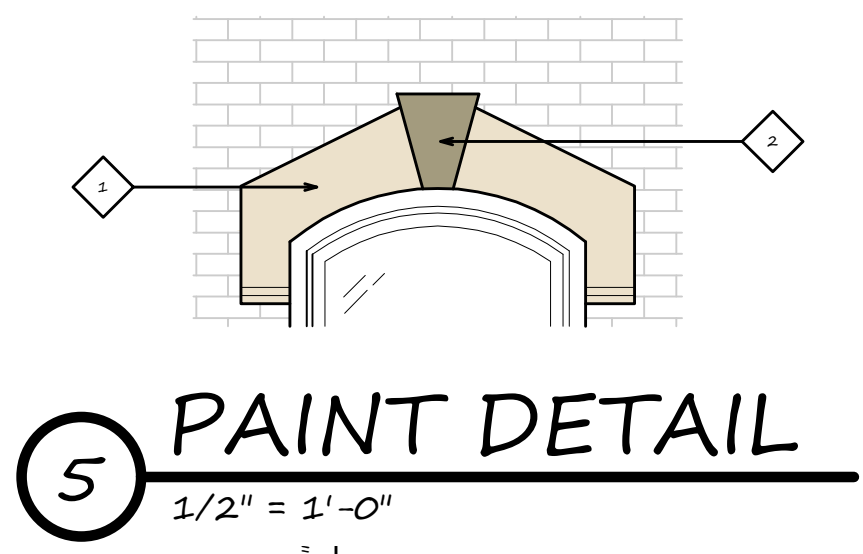
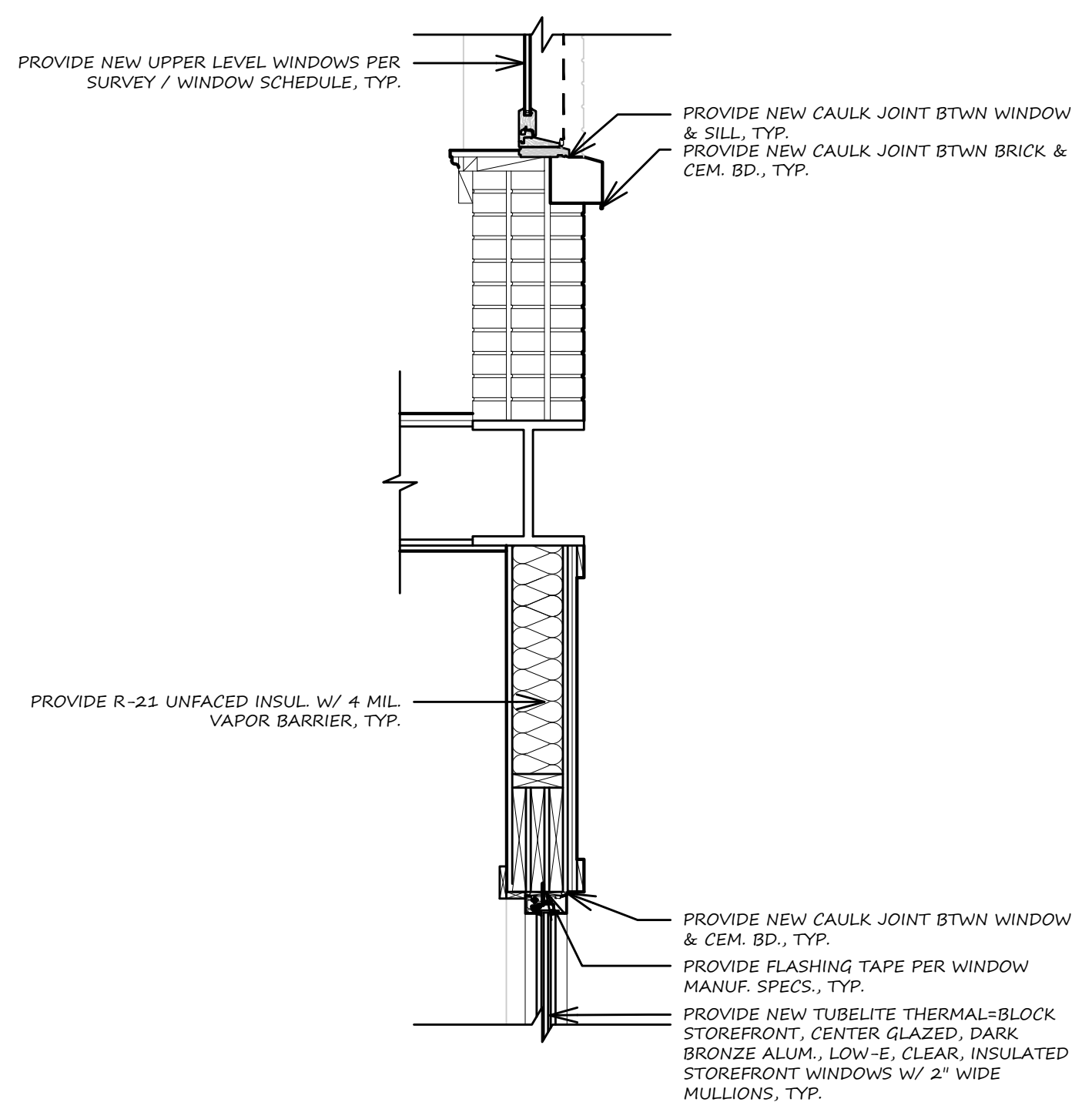
2 WALL SECTION
 1-1/2" = 1'-0"



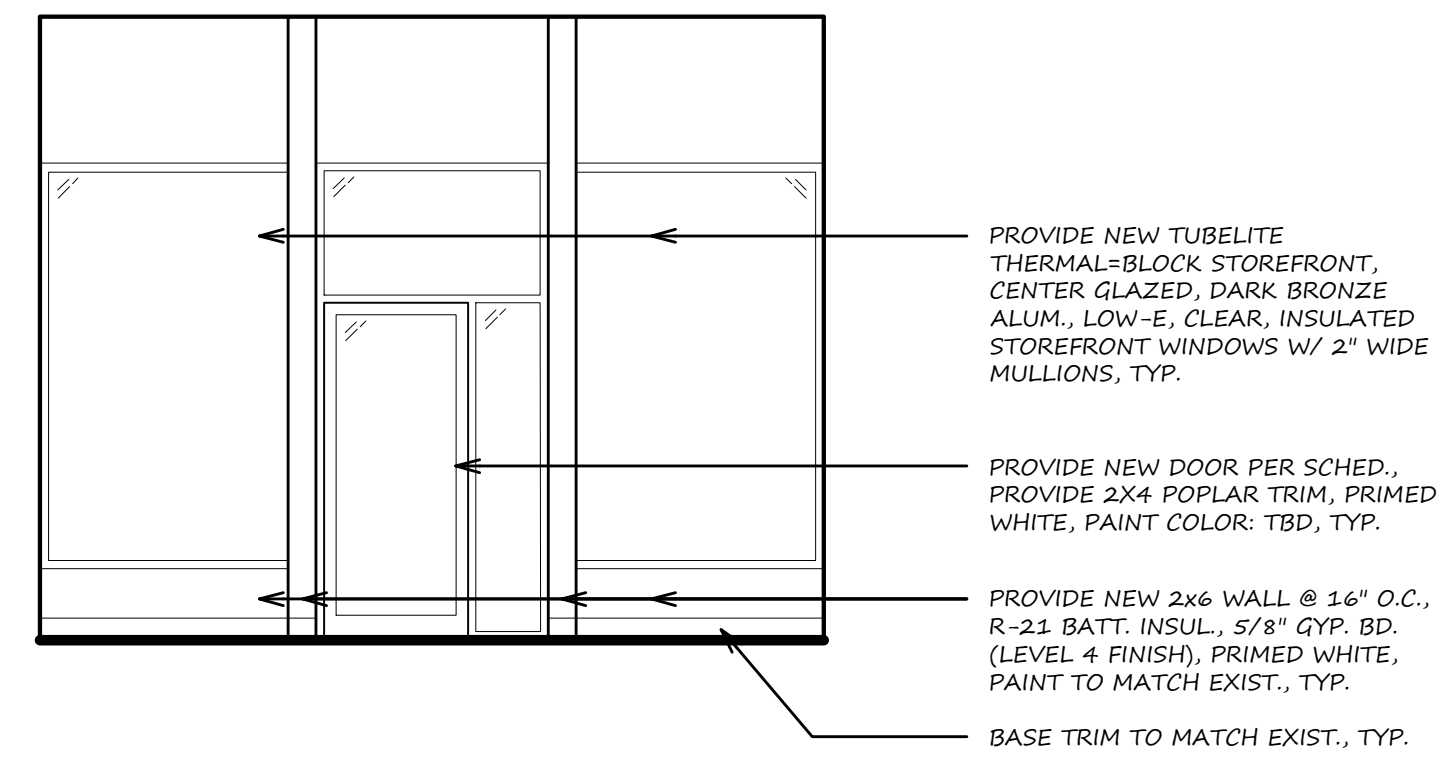
3 WALL SECTION
 1-1/2" = 1'-0"



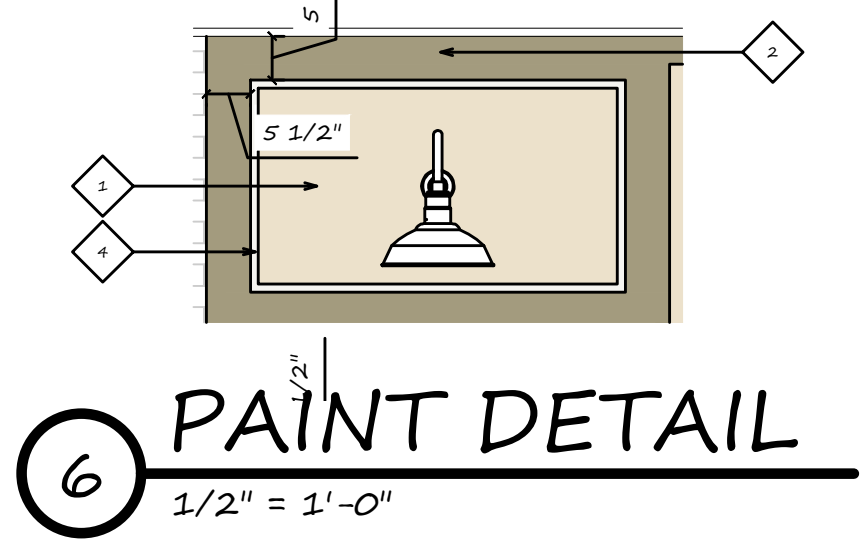
4 PAINT DETAIL
 1" = 1'-0"



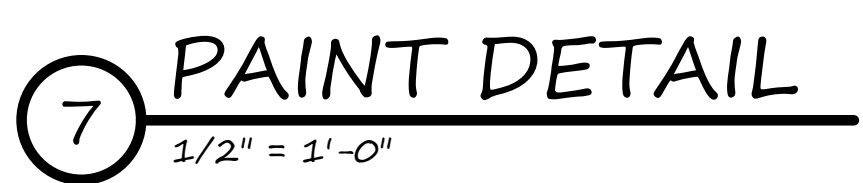
5 PAINT DETAIL
 1/2" = 1'-0"



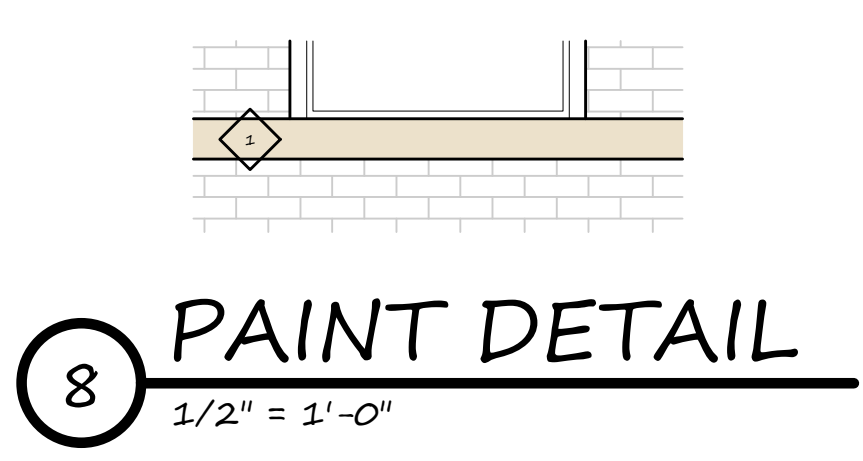
8 INTERIOR ELEVATION
 1/4" = 1'-0"



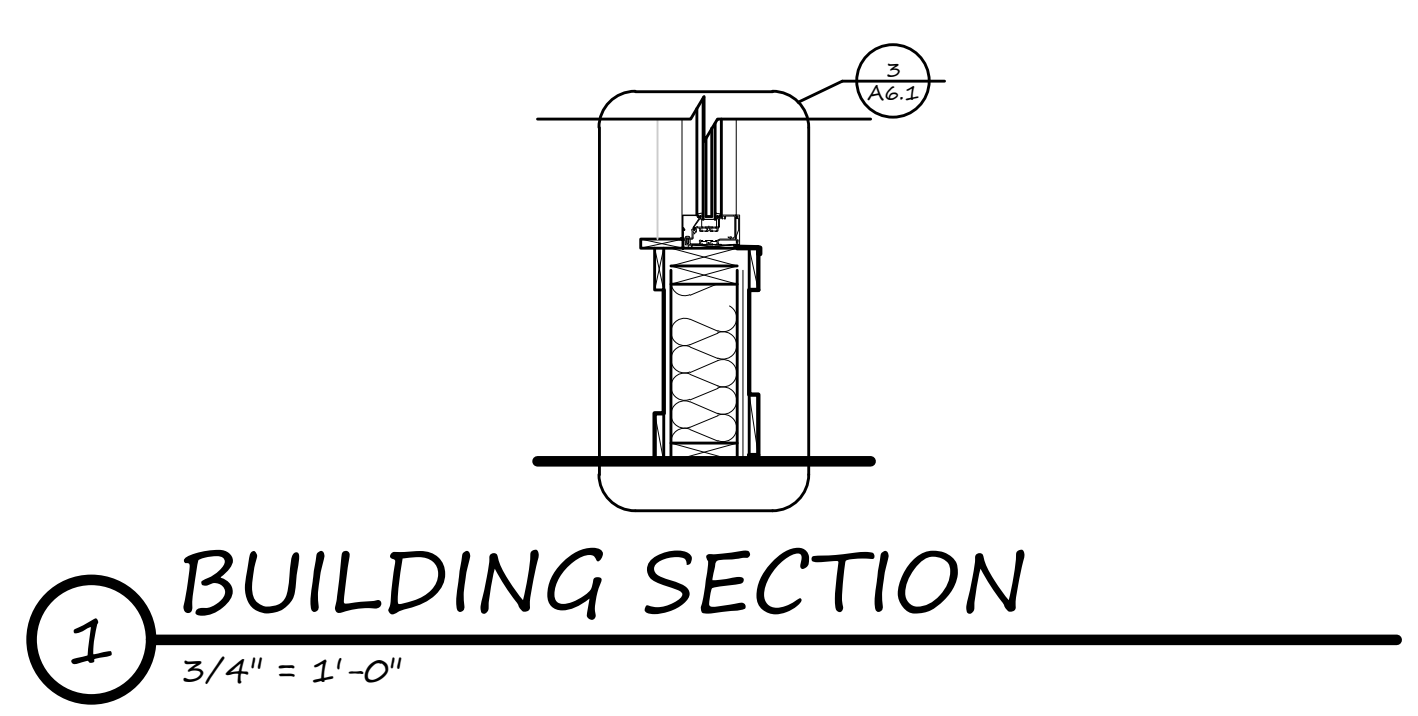
6 PAINT DETAIL
 1/2" = 1'-0"



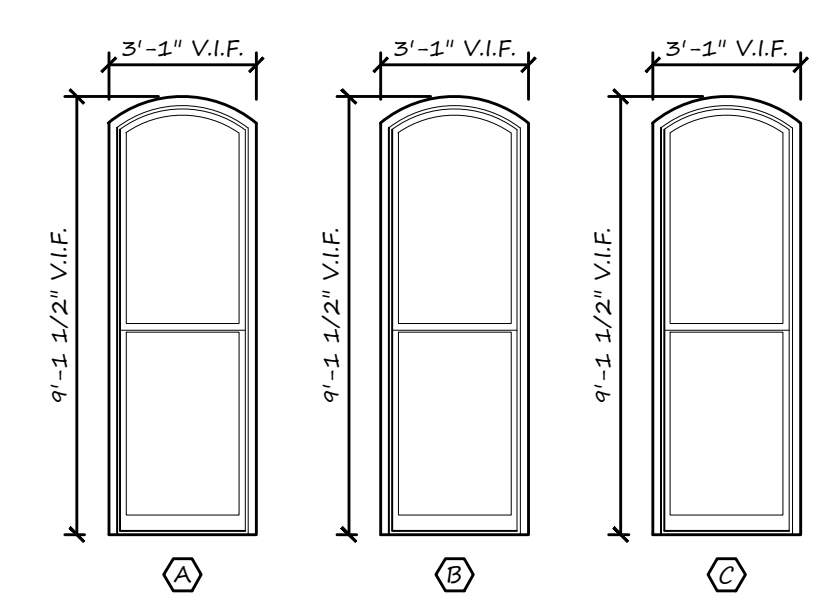
7 PAINT DETAIL
 1/2" = 1'-0"



8 PAINT DETAIL
 1/2" = 1'-0"



1 BUILDING SECTION
 3/4" = 1'-0"



WINDOW NOTES

- VERIFY ALL WINDOWS AND OPENINGS.
- VERIFY ALL WINDOWS AND FINISHES W/ EXISTING AND ARCHITECT.
- ALL WINDOWS ARE TO FIT IN EXISTING OPENINGS, PROVIDE BRICKMOLD TRIM AROUND JAMBS AND HEADER.

WINDOW REMARKS

- 1. EXISTING WINDOW OPENINGS ARE FRAMED IN, THE HEIGHT SHOWN IS THE EXISTING CONDITION, ALL NEW WINDOW HEIGHTS ARE TO BE VERIFIED PRIOR TO ORDERING.
- 2. NEW MARVIN ALUM. CLAD ULTIMATE SINGLE HUNG G2 WINDOWS, LOW-E, INSULATED, CLEAR, HISTORICAL COLOR: BRONZE, PRIMED WHITE INTERIOR W/ BRONZE LOCKS AND LIFTS, MARVIN BRIGHT-VIEW SCREEN, COLOR TO MATCH EXTERIOR CLADDING.

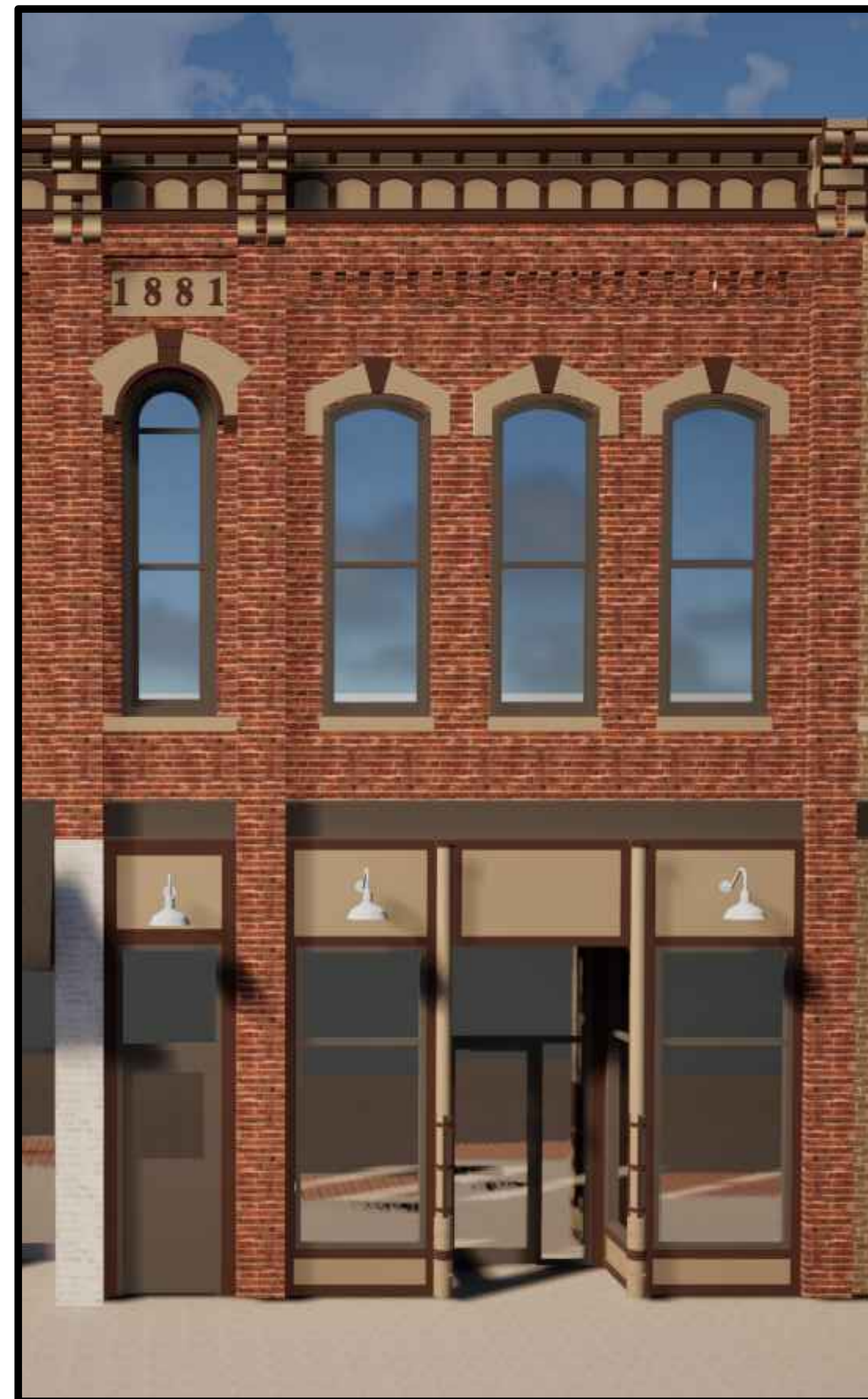
1032 6th ST. WINDOW SURVEY

#	LOCATION		WINDOW TYPE		MATERIAL		SIZE		BALANCE	FIT	OPERATION (Y/N)	HARDWARE	GLASS	FINISH - INSIDE		FINISH - OUTSIDE		SASH	FRAME			SUMMARY	REMARKS																				
	NORTH	EAST	WEST	SOUTH	SIGNIFICANT	NON-SIGNIFICANT	WIDTH	HEIGHT*						PAINT	STAIN	GOOD	FAIR		POOR	PAINT	STAIN			GOOD	FAIR	POOR	CLASS I	CLASS II	CLASS III	REPLACEMENT	CLASS I	CLASS II	CLASS III	REPLACEMENT	EXCELLENT	GOOD	FAIR	POOR					
A	X				X	X	3'7"	10'4 1/2"	2"			100%	>50%	<50%	100%	>50%	<50%	PAINT	STAIN	GOOD	FAIR	POOR	PAINT	STAIN	GOOD	FAIR	POOR	CLASS I	CLASS II	CLASS III	REPLACEMENT	CLASS I	CLASS II	CLASS III	REPLACEMENT	EXCELLENT	GOOD	FAIR	POOR		1		
B	X				X	X	3'7"	10'4 1/2"	2"			100%	>50%	<50%	100%	>50%	<50%	PAINT	STAIN	GOOD	FAIR	POOR	PAINT	STAIN	GOOD	FAIR	POOR	CLASS I	CLASS II	CLASS III	REPLACEMENT	CLASS I	CLASS II	CLASS III	REPLACEMENT	EXCELLENT	GOOD	FAIR	POOR		1		
C	X				X	X	3'7"	10'4 1/2"	2"			100%	>50%	<50%	100%	>50%	<50%	PAINT	STAIN	GOOD	FAIR	POOR	PAINT	STAIN	GOOD	FAIR	POOR	CLASS I	CLASS II	CLASS III	REPLACEMENT	CLASS I	CLASS II	CLASS III	REPLACEMENT	EXCELLENT	GOOD	FAIR	POOR		1		
			SIGNIFICANT AND NON-SIGNIFICANT TOTALS				3												3																					3		REPAIR GLASS AND CONDITION TOTAL	

WINDOW SURVEY / SCHEDULE



EXISTING PHOTOGRAPH

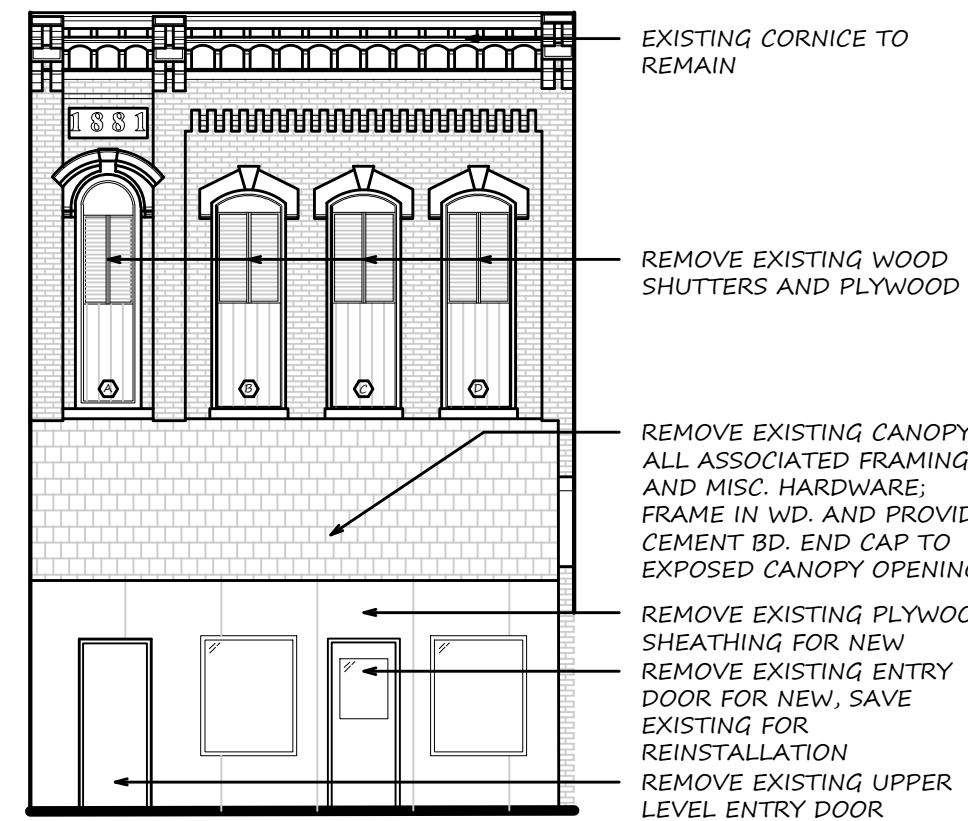


PROPOSED RENDERING

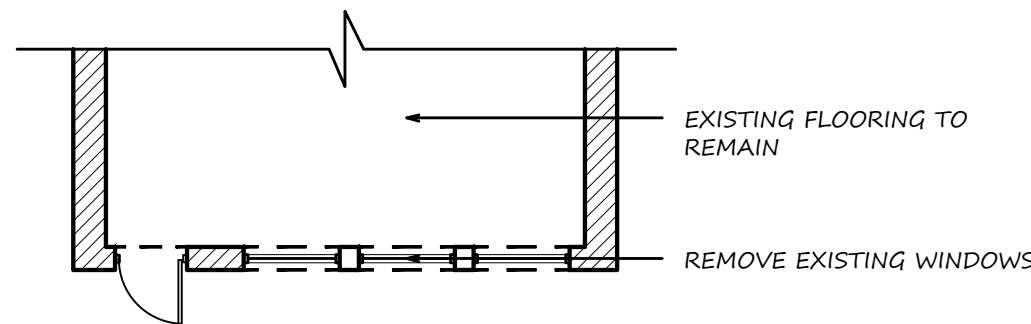
* RENDERINGS ARE A REPRESENTATION OF THE * BUILDING TO SHOW GENERAL DESIGN INTENT. NOT TO BE USED TO BUILD FROM.



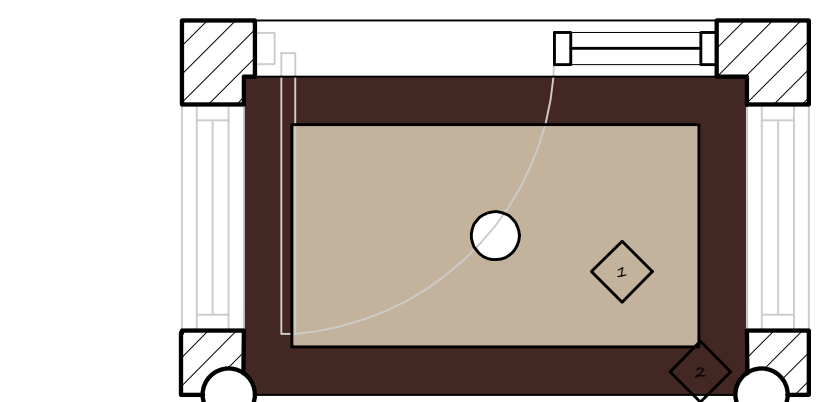
1 PAINT DETAIL
1" = 1'-0"



EXIST. ELEVATION
1/8" = 1'-0"



EXIST. FLOOR PLAN
1/8" = 1'-0"
NORTH



2 PAINT DETAIL
1/2" = 1'-0"

1028 6th ST. LIGHT FIXTURES	
FIXTURE #	LOCATION
BARN LIGHT ELECTRIC COMPANY: THE ORIGINAL WAREHOUSE GOOSENECK LIGHT BLE-FM-WHS18-600-G22-NA-NA-E26 DECORATIVE BACKING PLATE COVER AND CLEAR GLASS RP LIGHTING 8739-08-90-4K	WATER PROOF GOOSENECK WALL SCONCE WATER PROOF CEILING MOUNT

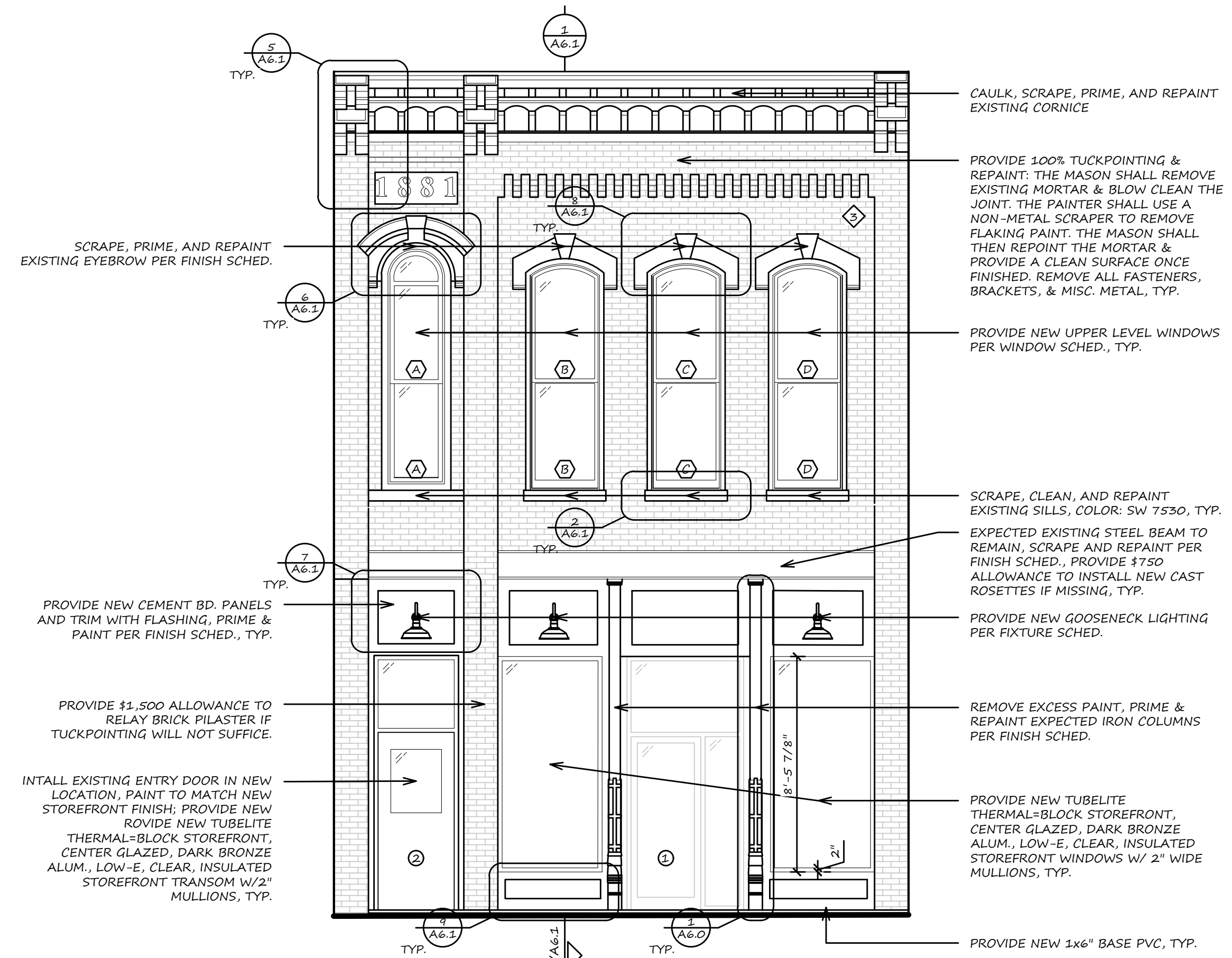
LIGHTING SCHEDULE

1028 6th ST. FINISH SCHEDULE					
NO.	COLOR	PRIMER	FINISH	COATS	REMARKS
1	SW 7530	EXTERIOR	SATIN	2	2,4,7
2	SW 2838	EXTERIOR	SATIN	2	1,3,6
3	SW 2837	EXTERIOR	SATIN	2	5

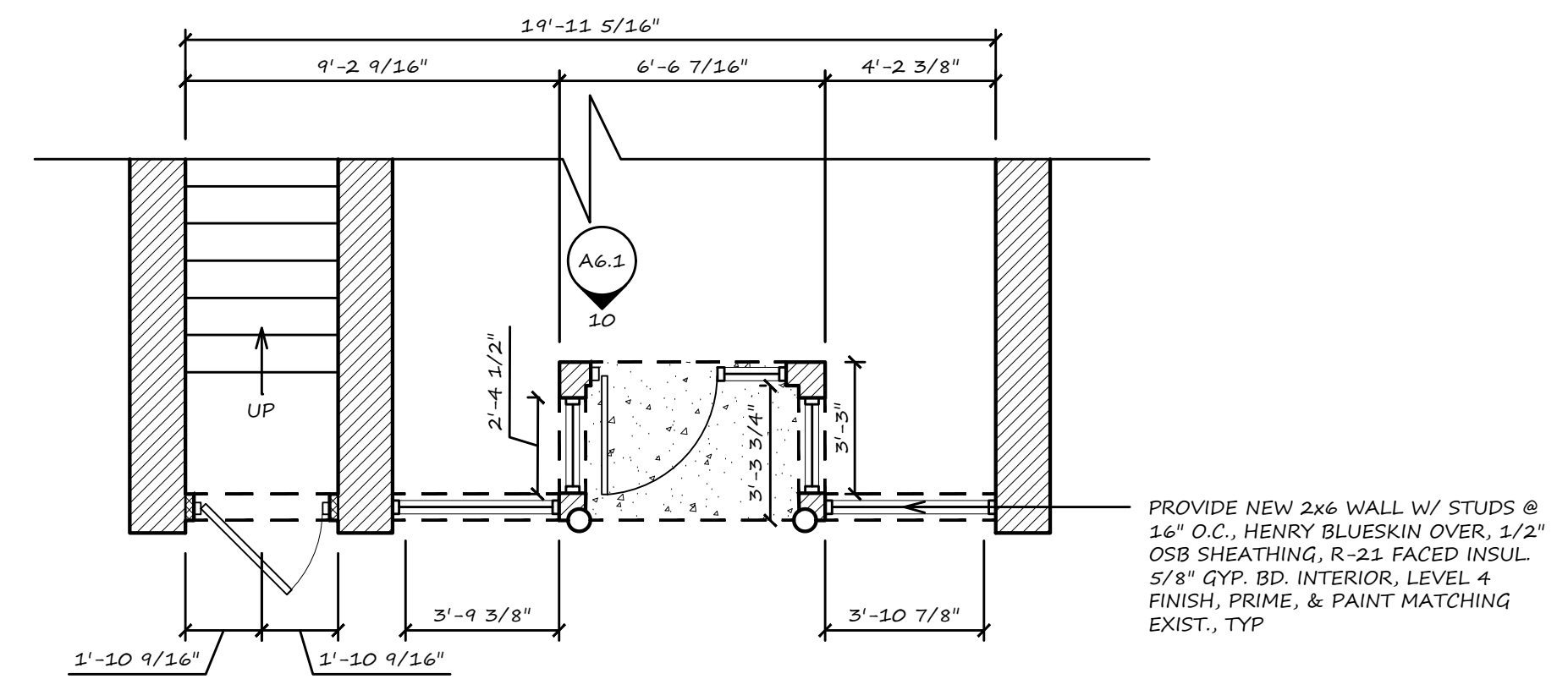
FINISH SCHEDULE

REMARKS: VERIFY COLOR USE ON ELEVATIONS AND DETAILS

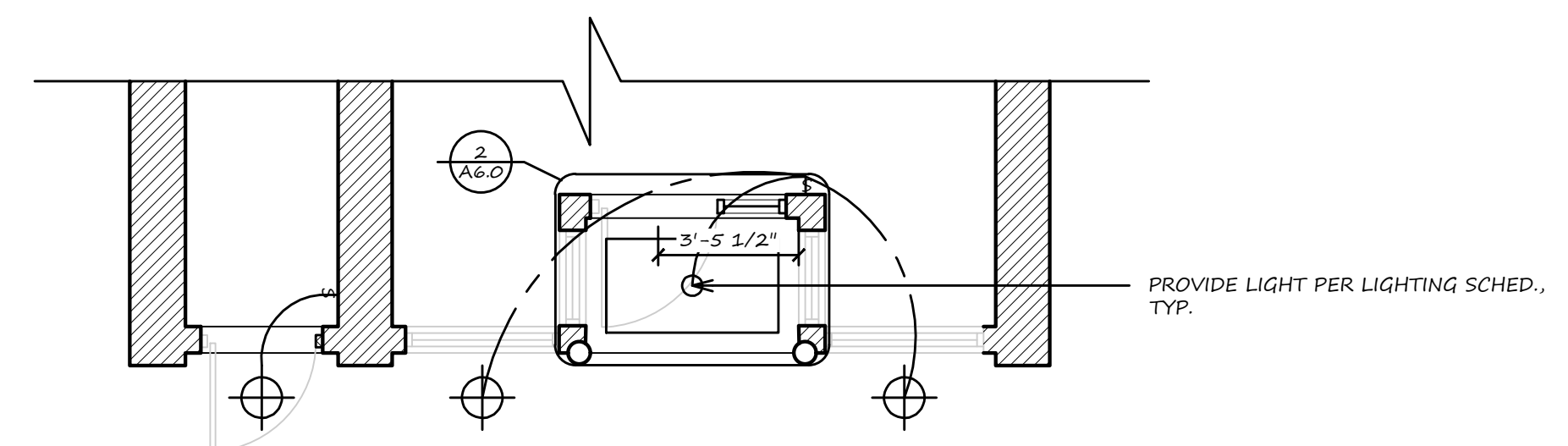
- COLOR USED FOR TRIM AT SOFFIT
- COLOR USED FOR PANELS AT SOFFIT
- COLOR USED FOR WALL TRIM
- COLOR USED FOR WALL PANELS
- COLOR USED FOR BRICK COLOR
- COLOR USED FOR TRIM AT KNEE WALL
- COLOR USED FOR PANELS AT KNEE WALL
- COLOR USED FOR SIGN LETTERS
- COLOR USED FOR INTERIOR WALLS (MATCH EXIST.)
- COLOR USED FOR INTERIOR TRIM (MATCH EXIST.)



PROPOSED ELEVATION
1/4" = 1'-0"



PROPOSED FLOOR PLAN
1/4" = 1'-0"
NORTH



PROPOSED REFLECTED CEILING PLAN
1/4" = 1'-0"
NORTH

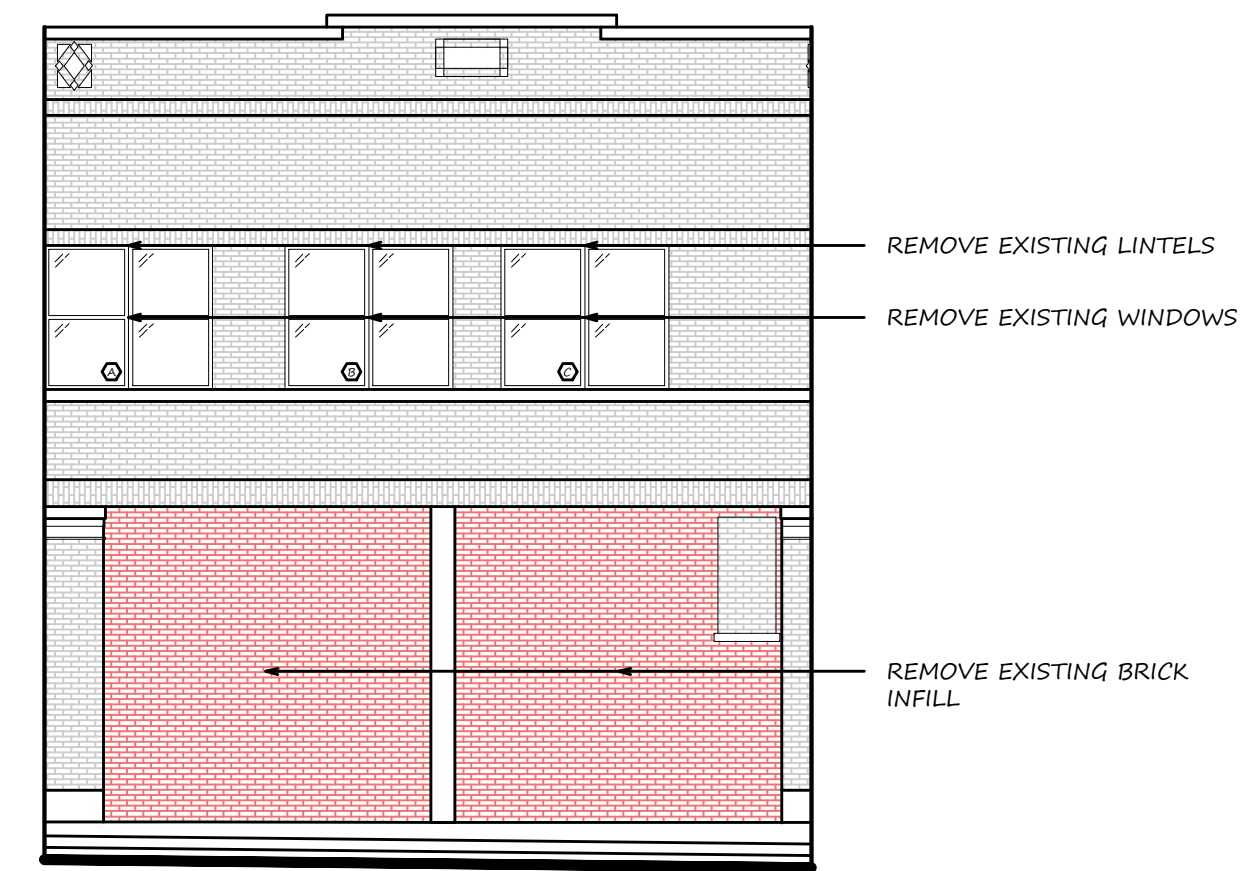
DATE: 04/22/2026

REVISIONS:

PROJECT # 2503
PLANS, ELEVATIONS, & SCHEDULES

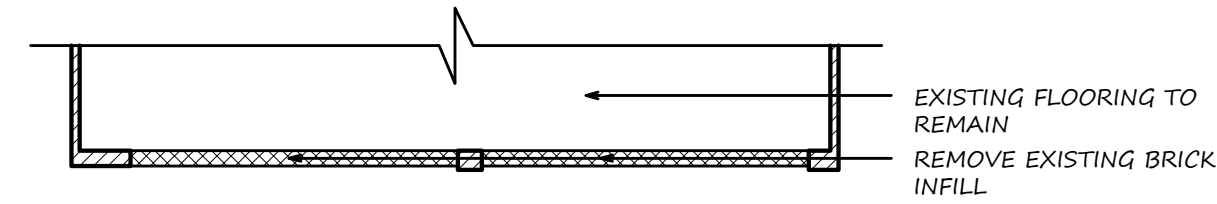


EXISTING PHOTOGRAPH



EXISTING ELEVATION

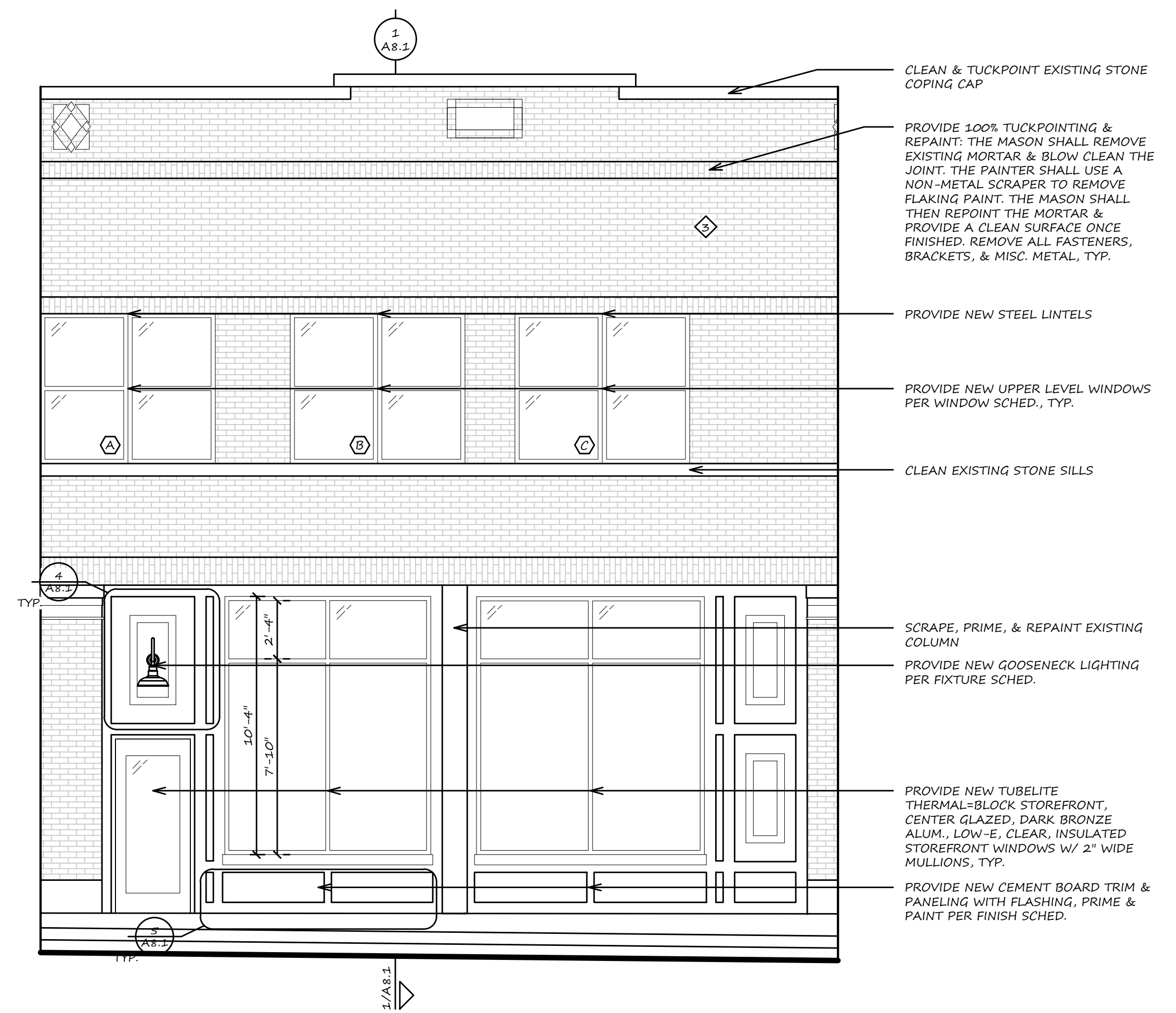
1/8" = 1'-0"



EXIST. FLOOR PLAN

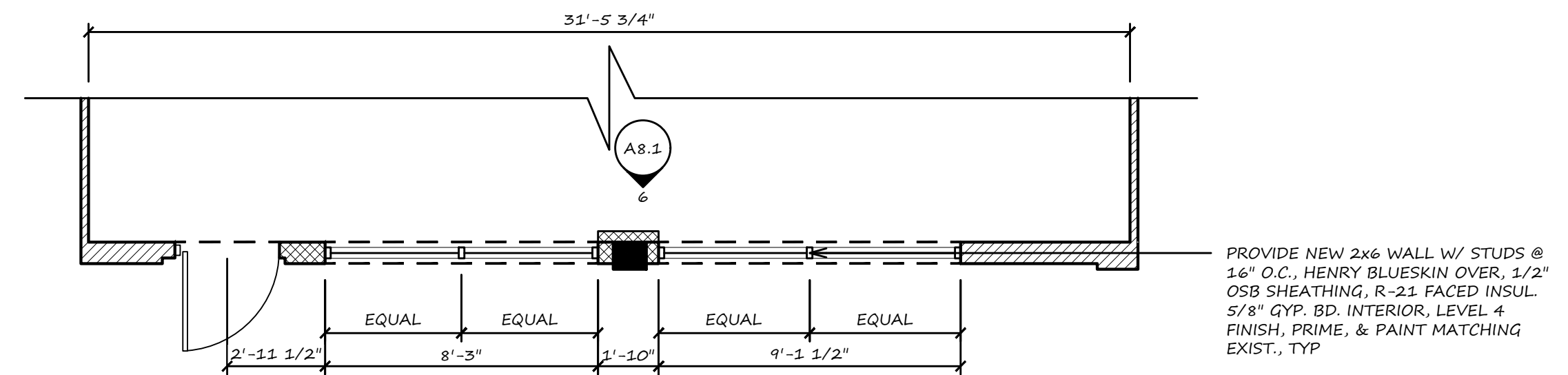
1/8" = 1'-0"

NORTH



PROPOSED ELEVATION

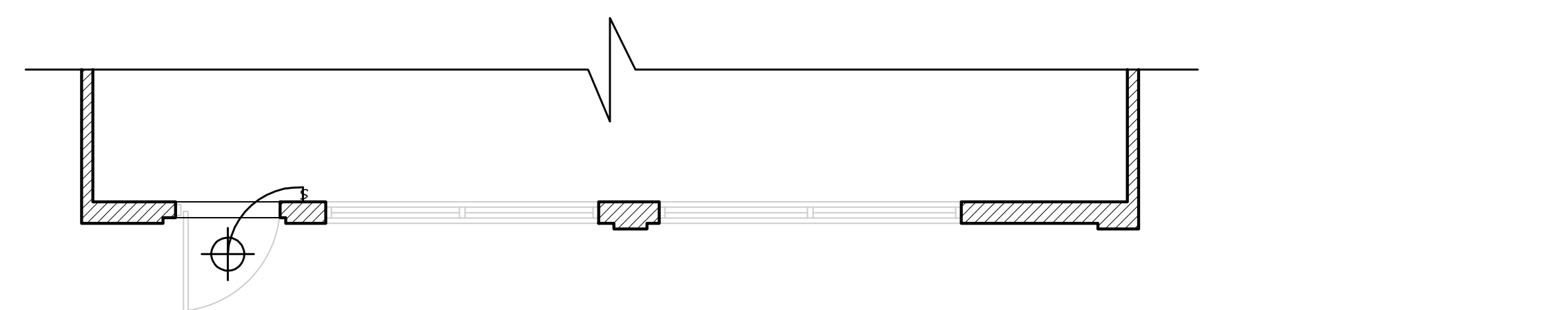
1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/4" = 1'-0"

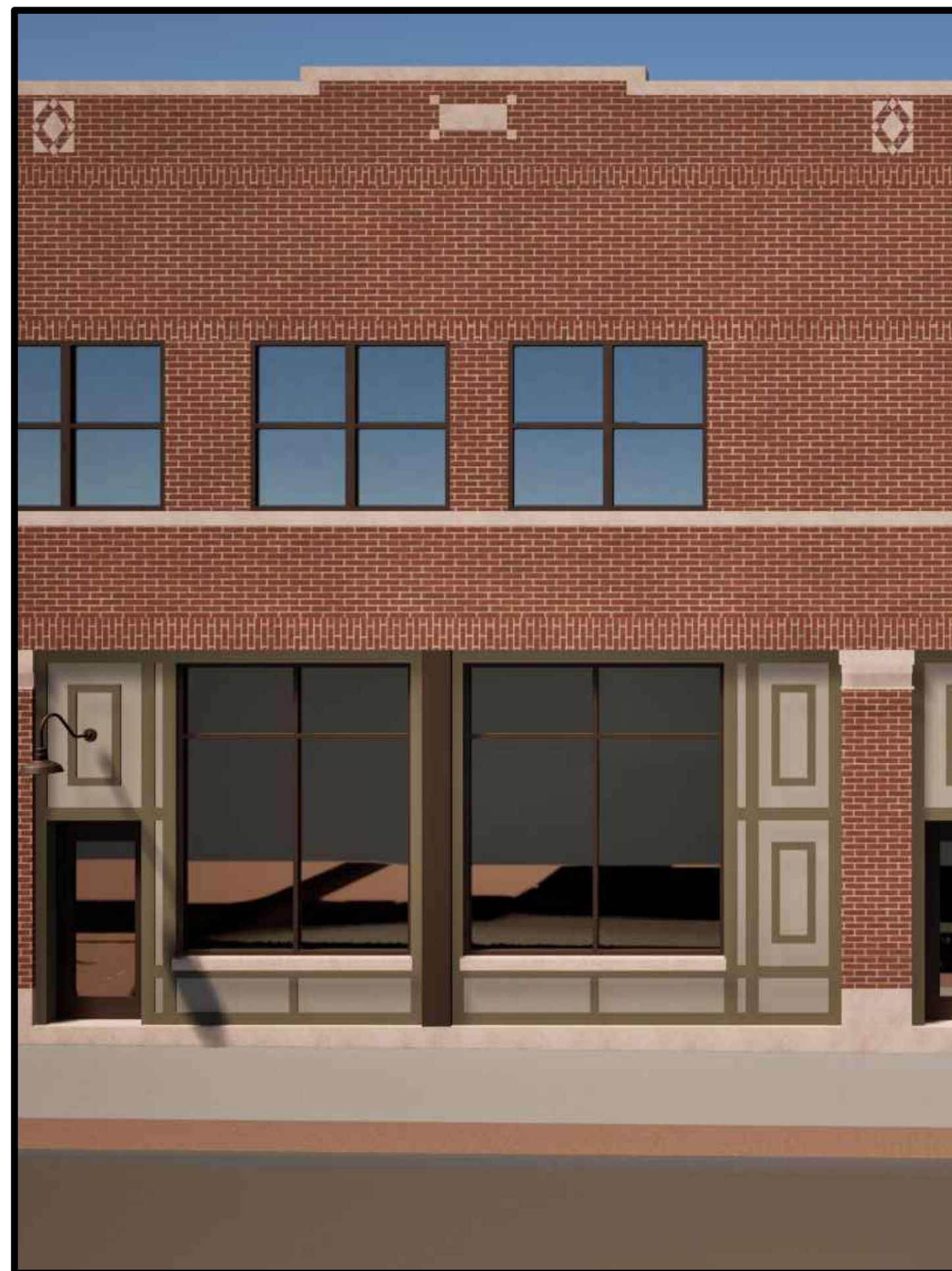
NORTH



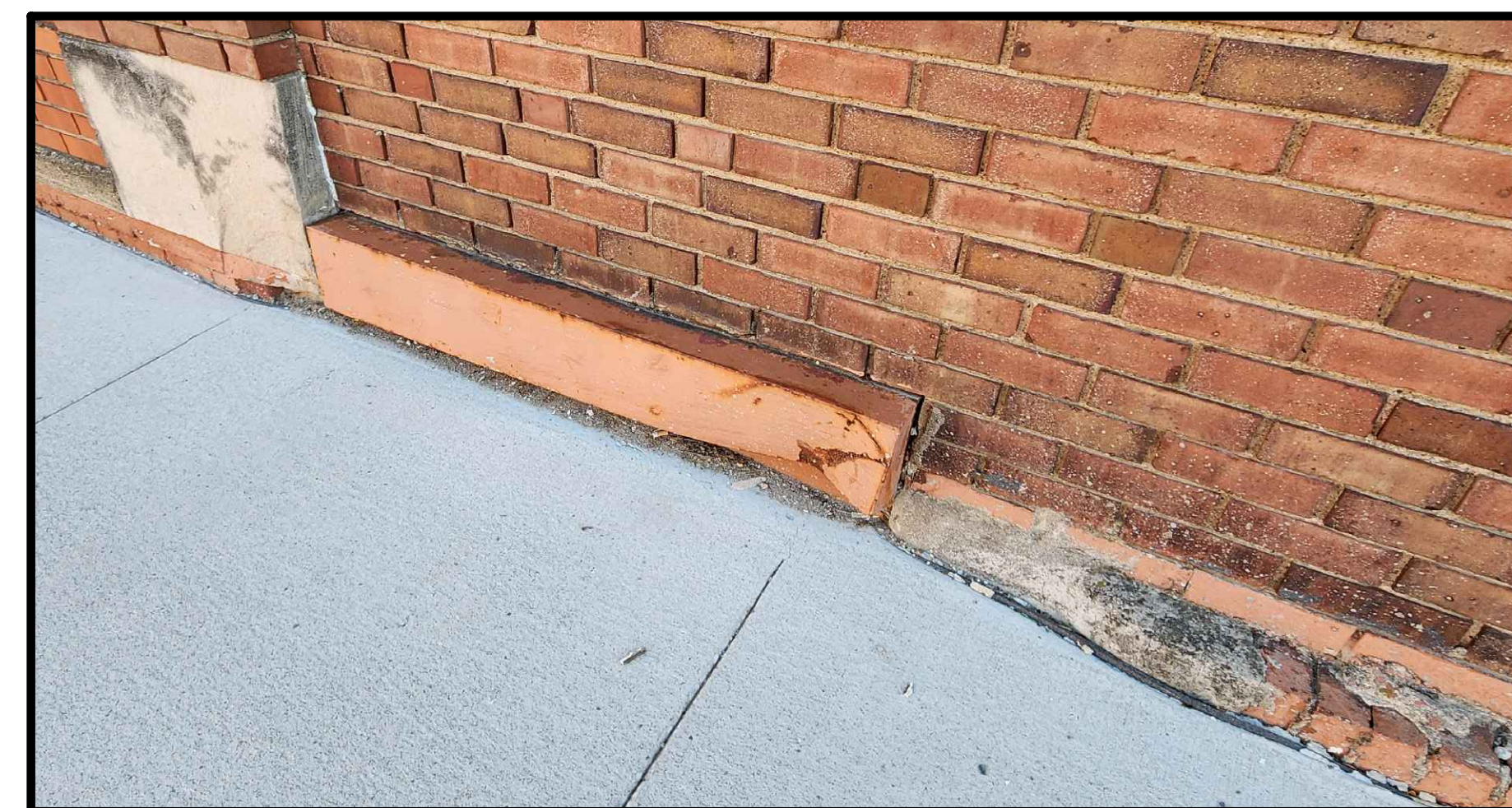
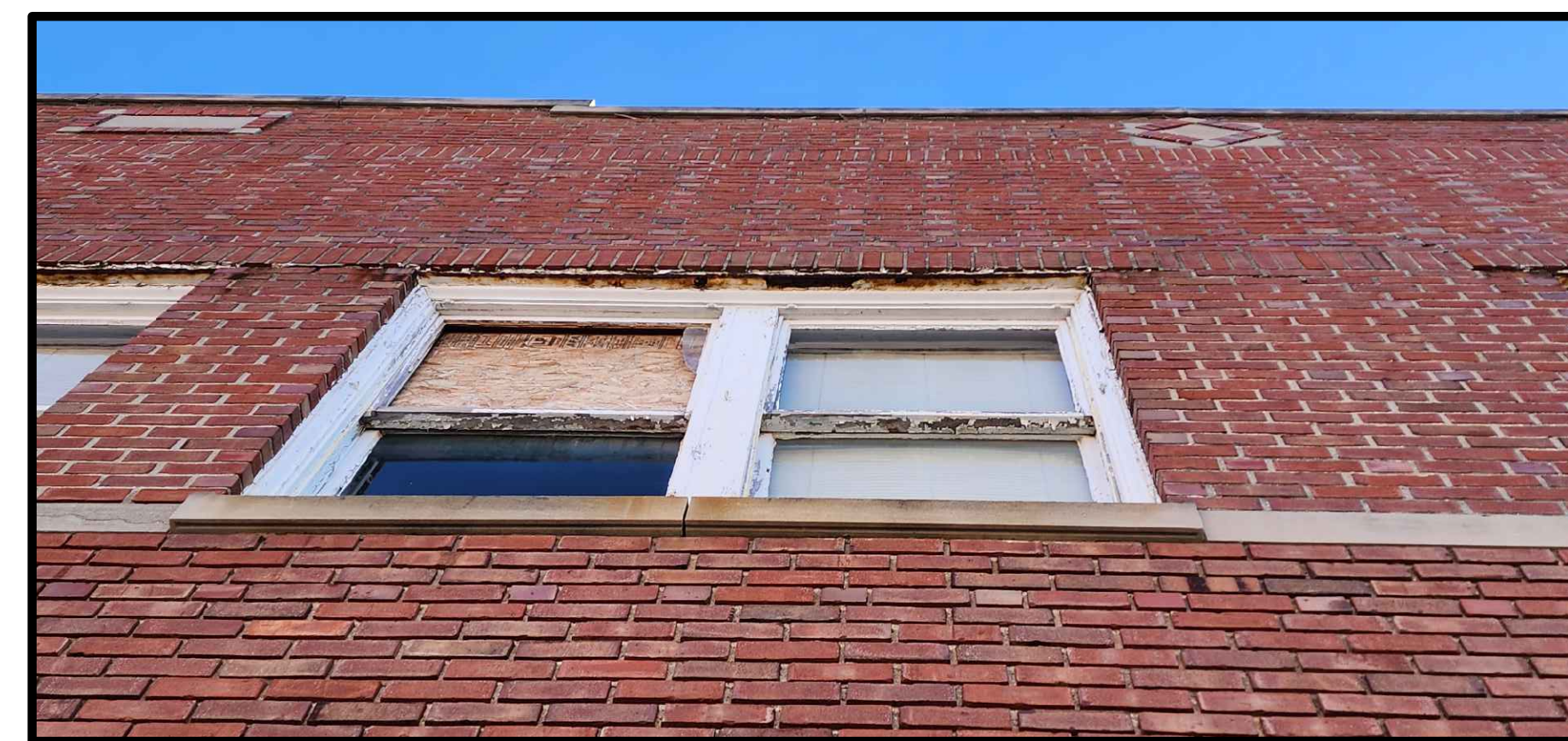
PROPOSED REFLECTED CEILING PLAN

1/4" = 1'-0"

NORTH



PROPOSED RENDERING



532 K AVE. DOOR SCHEDULE											
#	DOOR					FRAME		HARDWARE			
	OPENING SIZE	SWING	MAT'L	FINISH	TYPE	STILE	MAT'L	FINISH	LOCKSET	PUSH/PULL	CLOSER
1	3'-0" x 7'-0" x 1 3/4"	RHR	ALUM SF	D BRONZE	FULL GLASS	MEDIUM	ALUM	D BRONZE	1	2	3

OPENING SCHEDULE

HARDWARE SPECIFICATIONS:

- MANUFACTURE STANDARD LOCKSET FINISH: #40 DARK BRONZE
- PUSH/PULL: PULL - KAWNEER CO-9, PUSH - FALCON 1790 RIM EXIT DEVICE FINISH: #40 DARK BRONZE
- CLOSER: LCN 4040 XP FINISH: #40 DARK BRONZE

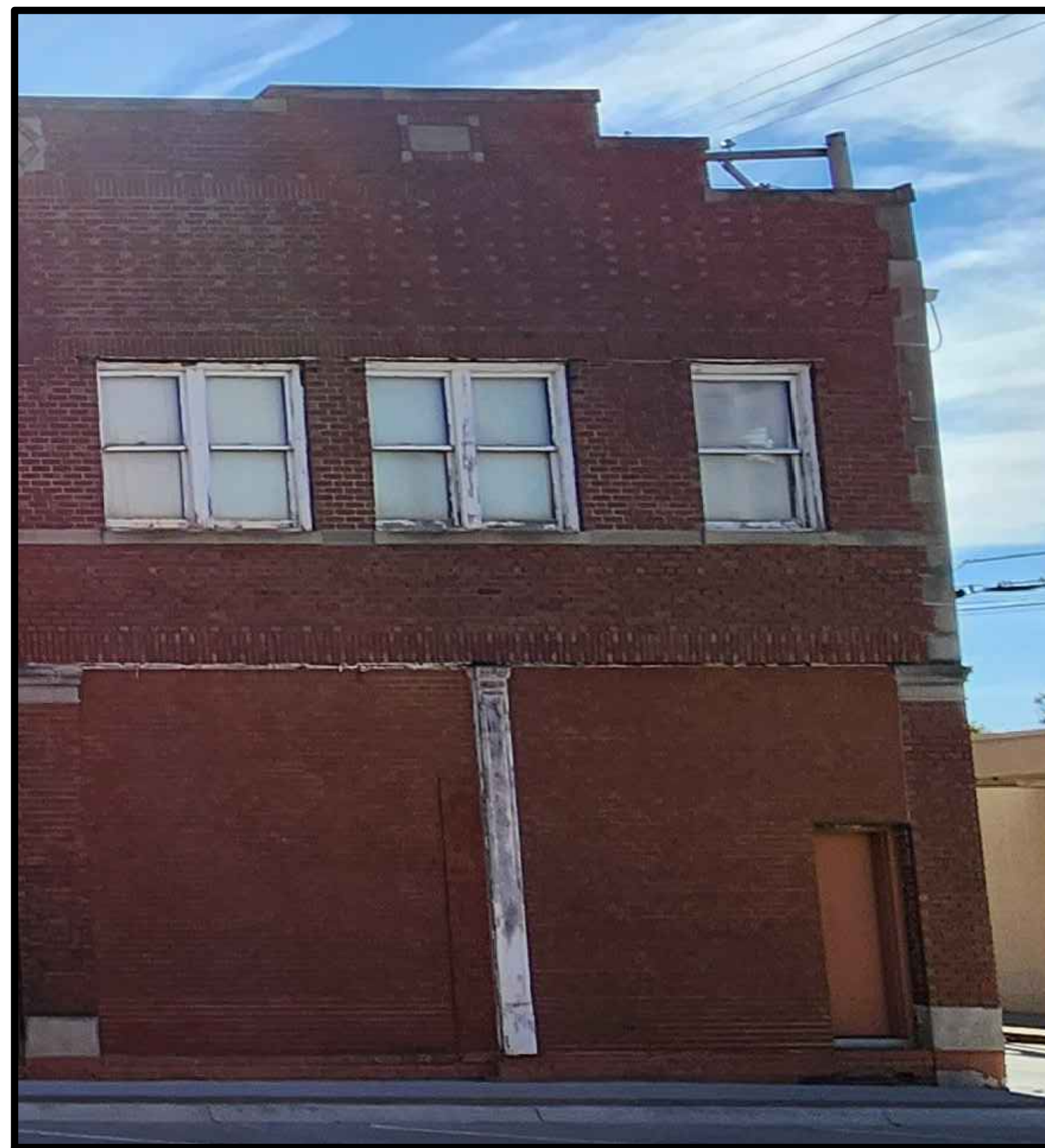
REMARKS

- TUBELITE THERMAL-BLOCK STOREFRONT ENTRY DOOR, LOW-E, CLEAR, INSULATED, CONCEALED SCREW WEATHER STRIP, & STANDARD THRESHOLD TO MATCH COLOR OF DOOR. PROVIDE TRANSOM, VERIFY TRANSOM SIZE IN FIELD.

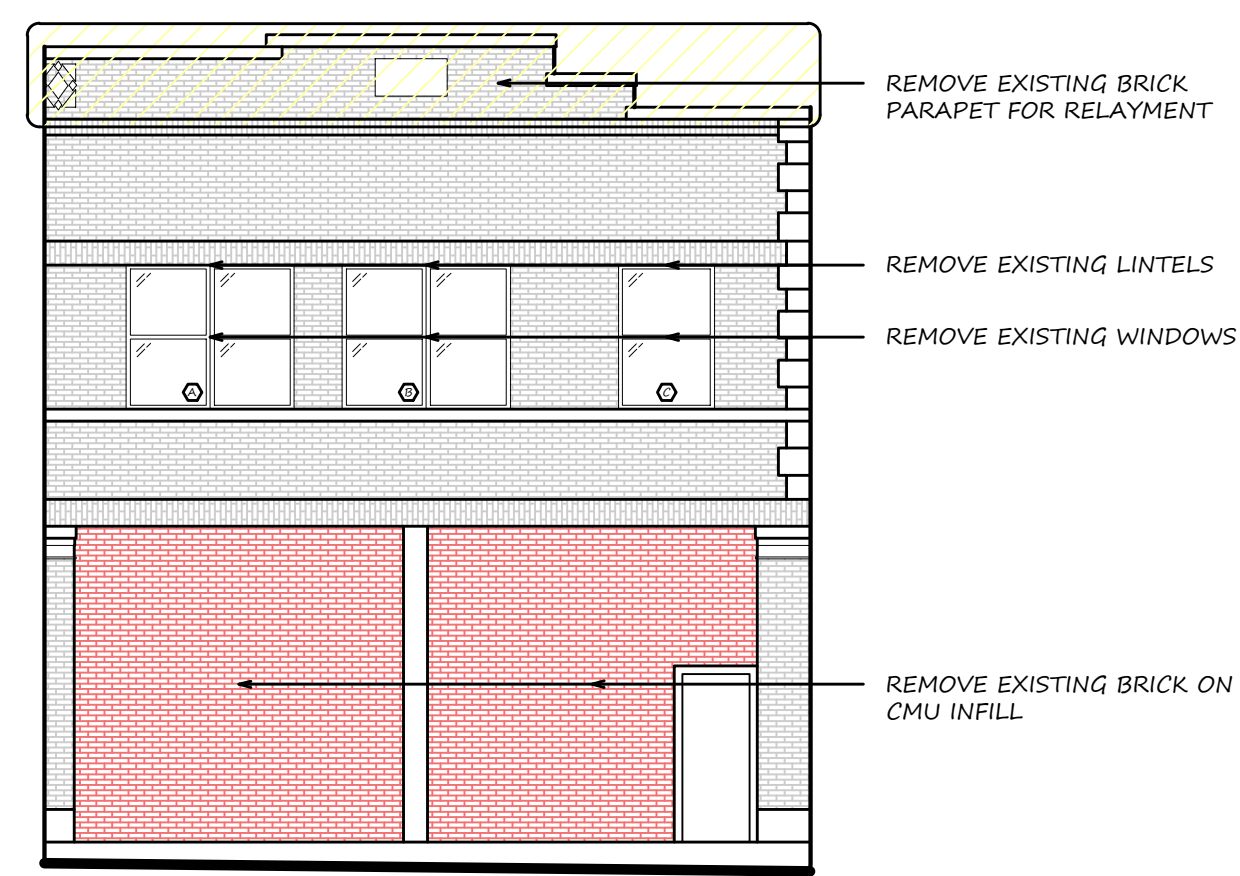
532 K AVE. LIGHT FIXTURES	
FIXTURE #	LOCATION
BARN LIGHT ELECTRIC COMPANY: THE ORIGINAL WAREHOUSE GOOSENECK LIGHT BLE-FM-WHS18-600-G22-NA-NA-E26 DECORATIVE BACKING PLATE COVER AND CLEAR GLASS	WATER PROOF GOOSENECK WALL SCANCE

LIGHTING SCHEDULE

* RENDERINGS ARE A REPRESENTATION OF THE BUILDING TO SHOW * GENERAL DESIGN INTENT. NOT TO BE USED TO BUILD FROM.

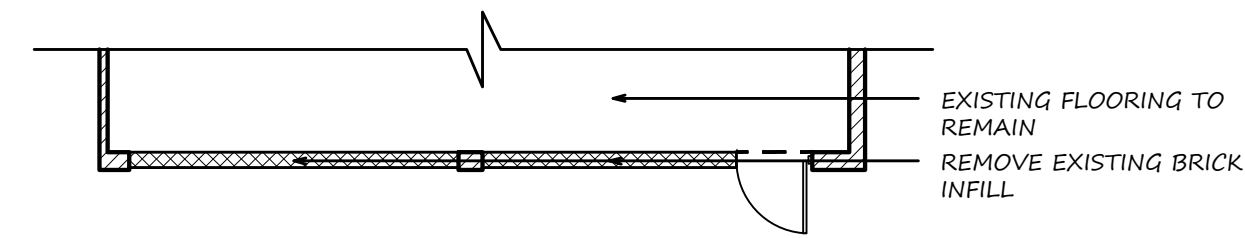


EXISTING PHOTOGRAPH



EXISTING ELEVATION

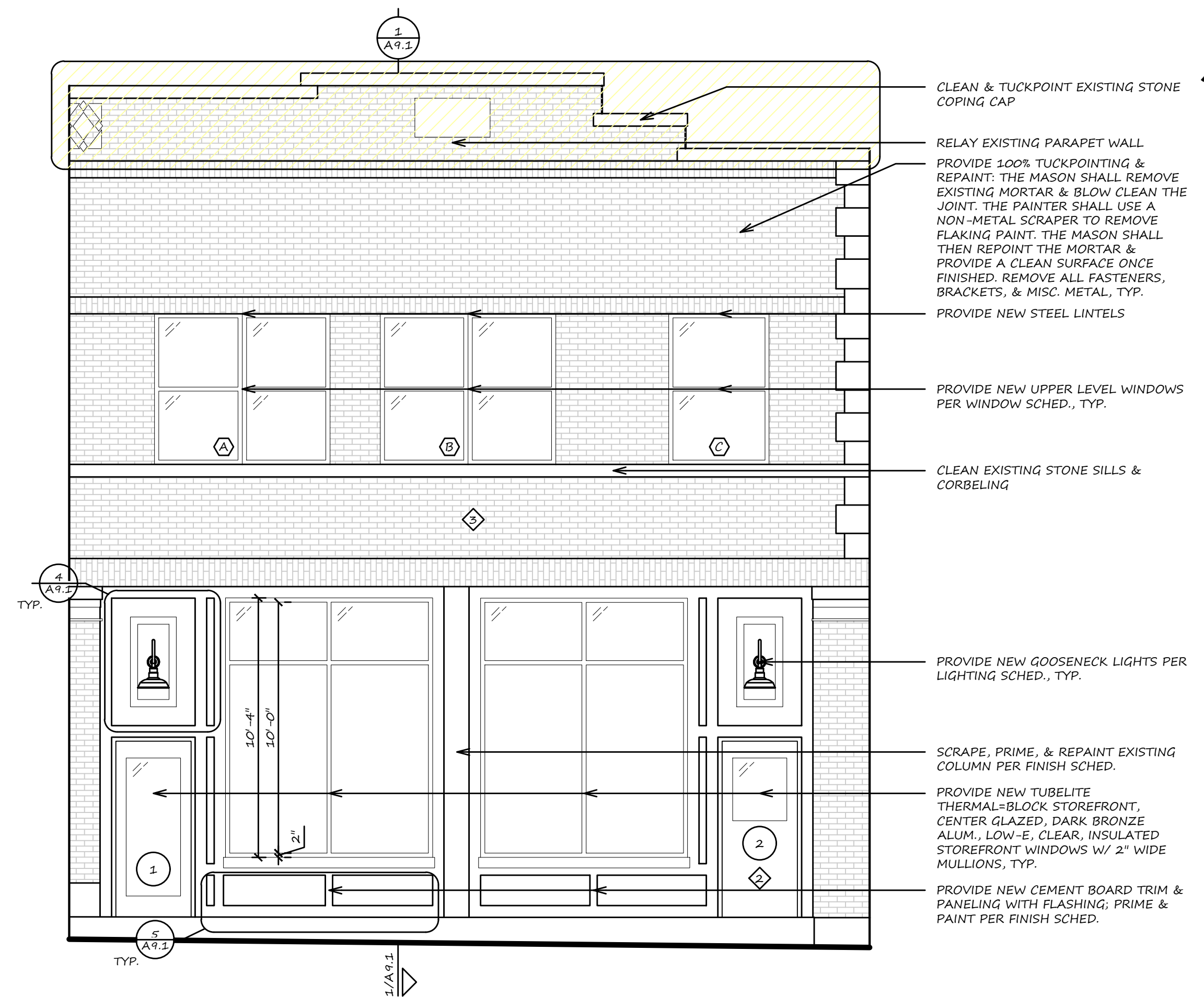
1/8" = 1'-0"



EXISTING FLOOR PLAN

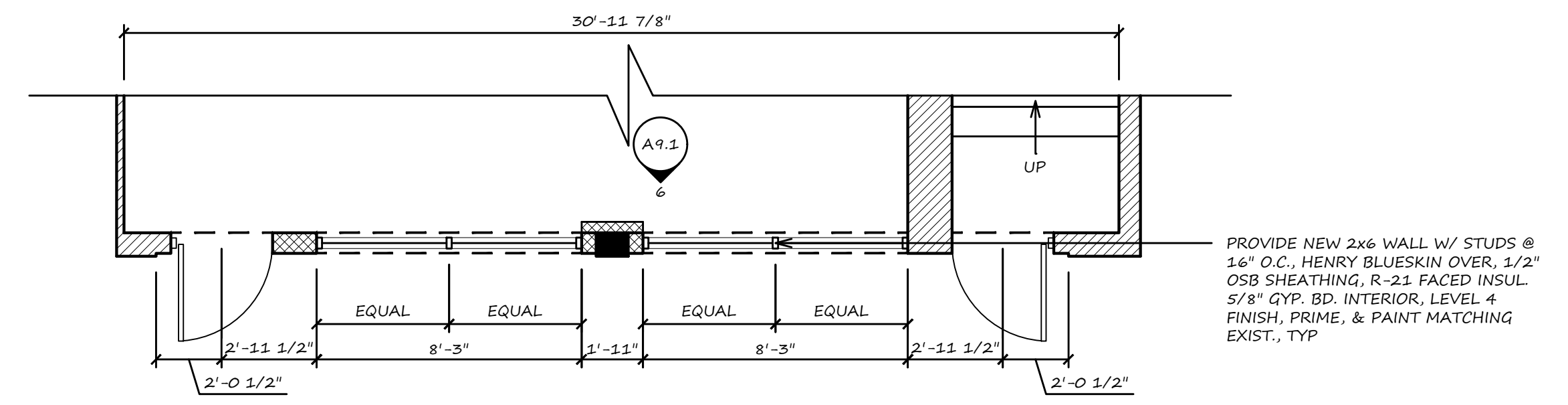
1/8" = 1'-0"

NORTH



PROPOSED ELEVATION

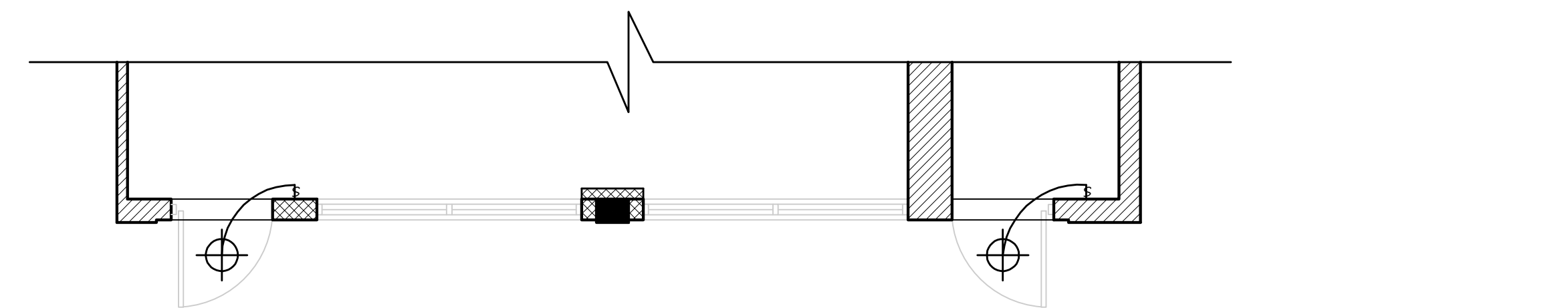
1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/4" = 1'-0"

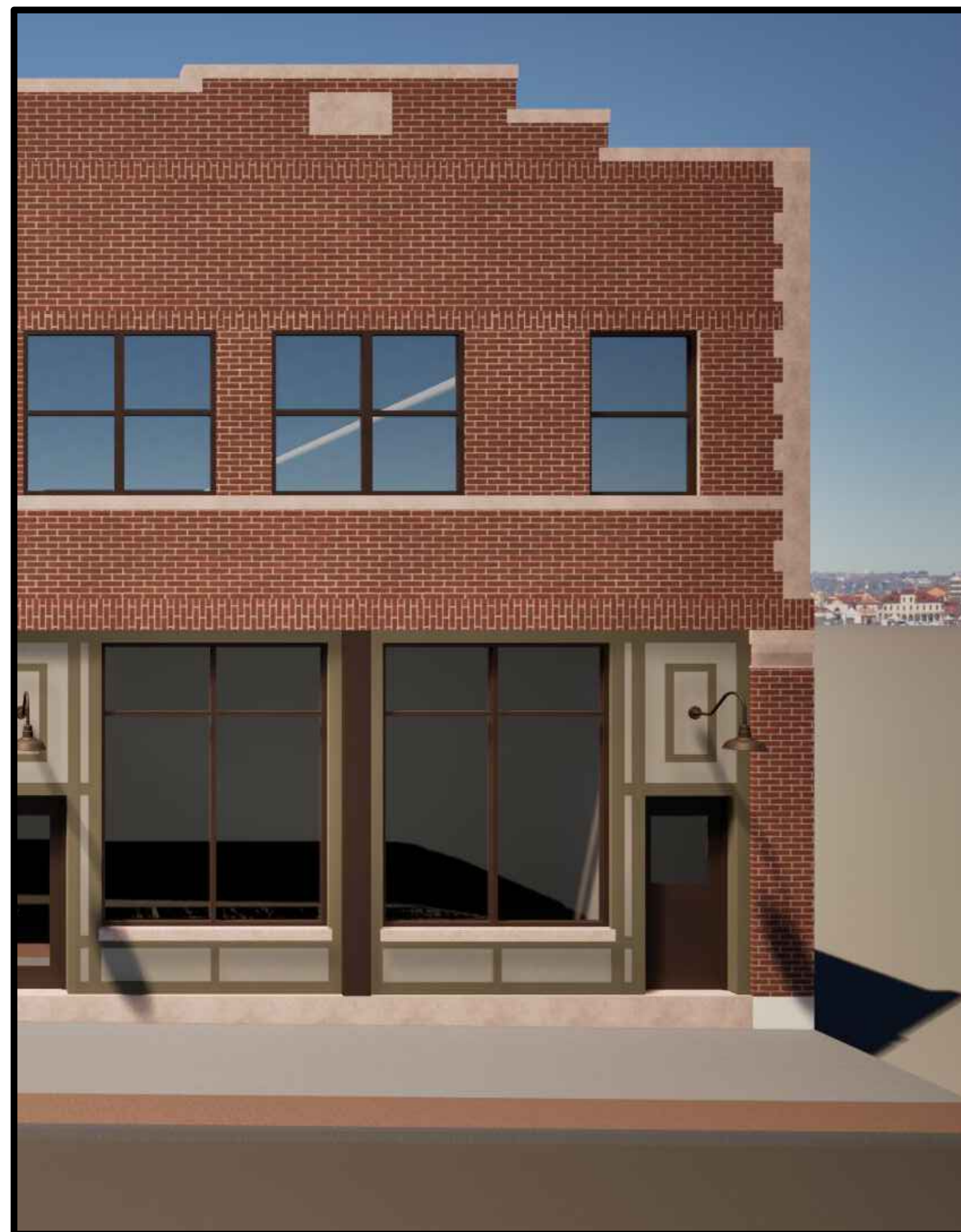
NORTH



PROPOSED REFLECTED CEILING PLAN

1/4" = 1'-0"

NORTH



PROPOSED RENDERING



526 K AVE. DOOR SCHEDULE

#	DOOR					FRAME		HARDWARE			
	OPENING SIZE	SWING	MAT'L	FINISH	TYPE	STILE	MAT'L	FINISH	LOCKSET	PUSH/PULL	CLOSER
1	3'-0" x 7'-0" x 1 3/4"	LHR	ALUM SF	D BRONZE	FULL GLASS	MEDIUM	ALUM	D BRONZE	1	2	3
2	3'-0" x 7'-0" x 1 3/4"	RHR	STEEL	PAINT	HALF GLASS	MEDIUM	WOOD	PAINT	1	2	3

OPENING SCHEDULE

HARDWARE SPECIFICATIONS:

- MANUFACTURE STANDARD LOCKSET FINISH: #40 DARK BRONZE
- PUSH/PULL: PULL - KAWNEER CO-9, PUSH - FALCON 1790 RIM EXIT DEVICE FINISH: #40 DARK BRONZE
- CLOSER: LCN 4040 XP FINISH: #40 DARK BRONZE

REMARKS

- TUBELITE THERMAL-BLOCK STOREFRONT ENTRY DOOR, LOW-E, CLEAR, INSULATED, CONCEALED SCREW WEATHER STRIP, & STANDARD THRESHOLD TO MATCH COLOR OF DOOR. PROVIDE TRANSOM, VERIFY TRANSOM SIZE IN FIELD.

526 K AVE. LIGHT FIXTURES

FIXTURE #	LOCATION
BARN LIGHT ELECTRIC COMPANY: THE ORIGINAL WAREHOUSE GOOSENECK LIGHT BLE-FM-WHS18-600-422-NA-NA-E26 DECORATIVE BACKING PLATE COVER AND CLEAR GLASS	WATER PROOF GOOSENECK WALL SCONCE

LIGHTING SCHEDULE

* RENDERINGS ARE A REPRESENTATION OF THE BUILDING TO SHOW * GENERAL DESIGN INTENT. NOT TO BE USED TO BUILD FROM.

