

ARCHITECT'S ADDENDUM NO. 1
REVISION OF DRAWINGS & SPECIFICATIONS

PROJECT:
NEVADA DTR
NEVADA, IOWA

TO: ALL BIDDERS
DATE: 06/05/2026
FROM: Curtis Architecture & Design P.C.

This addendum is issued to modify, clarify, or amend the original drawings and is hereby made part of the Contract Documents dated April 22nd, 2026. The Contractor shall be responsible for incorporating items in this Addendum to the work. The following supersedes over anything to the contrary in the Drawings.

1. Pre-Bid Conference Attendance:
 - a. Jacob Gockel – Curtis Architecture & Design, P.C. – jacob@curtisarchitecture.com
 - b. Zhi Chen – MIPA – zchen@midiowaplanning.org
 - c. Jaime Johnstone – Cornerstone Commercial Contractors – jaime@cornercc.com
 - d. Zach Johnson – TNT Tuckpointing – Zach@tnttuckpointing.com
 - e. Cody Black – MTS – codyb@mtscontracting.com
 - f. Mike Sauer – City of Nevada – msauer@cityofnevada.org
 - g. Jordan Cook – jcook@cityofnevada.org
2. Utility Clarification – Per CD Set, water and power are to be provided by building owners at each project address. If unavailable, the city will provide utilities. Pedestals with 110 and 220 are scattered across the project site. Hydrant meters can be provided as needed.
3. When will work start? – Work is expected to begin within 2 weeks of contract signing. Once paperwork is submitted and approved, mobilization is expected to occur within 1 month of contract signing.
4. Following contract signing, there will be a kickoff meeting with all parties; City of Nevada, MIPA, CA&D, Building Owners, and the awarded General Contractor. Attendance is mandatory and the date, time, and location will be set following contract signing.
5. 1104 6th St.: There is a broken foundation piece on the SE corner; this corner is to be removed, cleared of debris, and repoured. Paint white to match surrounding with an appropriate, high durability, masonry paint.
6. 526 & 532 K Ave.: The brick masonry to be removed is attached to an 8” concrete block wall, **not** wood framing. Demolition will require a concerted effort to protect and preserve the surrounding brick and iron pilasters.

7. Over or under ground joints and gouged bricks are not tolerated. Appropriate tools shall be used. Any and all gouged brick will be replaced in-kind at the expense of the contractor. Size and texture must match; color, if not matched, must be stained or painted to match the surrounding context. An appropriate tuckpointing grinder should be used. Piping bags are recommended for repointing. Mortar should match color and composition of the mortar tests available in the specification booklet. The mason is expected to provide a 2'x2' test area prior to repointing to be approved by the architect.
8. 1038 6th St., 526 K Ave., & 532 K Ave.: Provide repointing of all stone coping. Coping removed for brick relayment must be reinstalled and repointed.
9. 1028 6th St.: Door opening schedule is labeled 526 K Ave.; this is a title error, the information in the table is correct. See Below.

1028 6th St. DOOR SCHEDULE											
#	OPENING SIZE	DOOR					FRAME		HARDWARE		
		SWING	MAT'L	FINISH	TYPE	STILE	MAT'L	FINISH	LOCKSET	PUSH/PULL	CLOSER
1	3'-0" x 7'-0" x 1 3/4"	LHR	ALUM SF	D BRONZE	FULL GLASS	MEDIUM	ALUM	D BRONZE	1	2	3
2	3'-0" x 7'-0" x 1 3/4"	RHR	STEEL	PAINT	HALF GLASS	MEDIUM	WOOD	PAINT	1	2	3

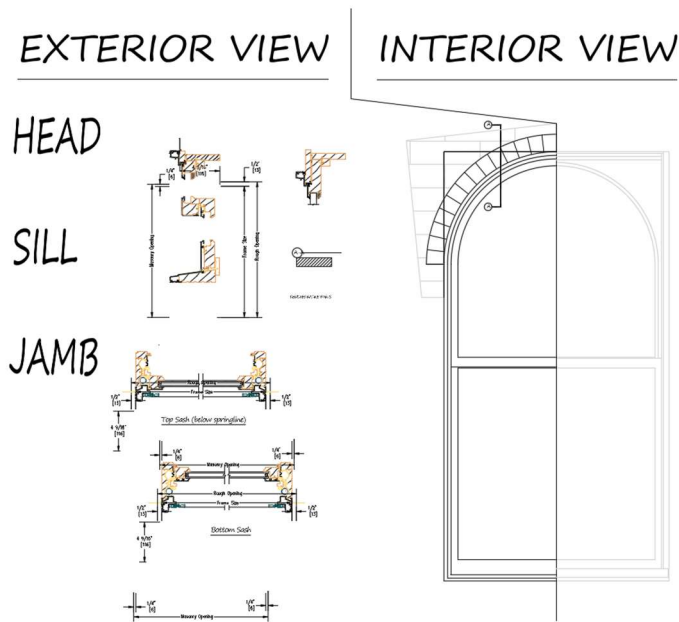
HARDWARE SPECIFICATIONS:

1. MANUFACTURE STANDARD LOCKSET
FINISH: #40 DARK BRONZE
2. PUSH/PULL: PULL - KAWNEER CO-9,
PUSH - FALCON 1790 RIM EXIT DEVICE
FINISH: #40 DARK BRONZE
3. CLOSER: LCN 4040 XP
FINISH: #40 DARK BRONZE

REMARKS

1. TUBELITE THERML=BLOCK MEDIUM STILE STOREFRONT ENTRY DOOR, LOW-E, CLEAR, THRESHOLD E2550 COLOR MATCHED, INSULATED. PROVIDE SIDELIGHT PER ELEVATION.

- a. 10. 1028 & 1032 6th St.: Upper level windows appear to be square back, arch front; existing conditions to be verified before ordering. Refer to Marvin's typ. Detail for this:



a.

11. No Glazier Rate is provided in the wage determination:
 - a. The US Department of Labor doesn't provide wage rate determinations during the bidding process; I was directed to [Memorandum No.213](#), which provides steps for proposing additional wage rates.
 - i. Very broadly, if a wage rate for a skilled job (such as glazier) is being proposed, then the proposed wage rate should be comparable to other skilled jobs on the Wage Determination Sheet (Boilermaker to Sheet Metal Worker).
 - ii. If the wage rate being proposed is for an unskilled job, then the proposed wage rate should be comparable to other unskilled jobs on the Wage Determination Sheet (Roofer to Carpenter).
12. List to be attached to all submitted bid forms: All known subcontractors must be listed and included with the bid form. All unknown subcontractors/trades must be labeled as such and submitted with the bid form.
13. A schedule of values shall be submitted in a timely manner according to the specification booklet once notified of such request. Delay in submission, if resulting in the delay of the project, will not be accepted as additional days on the contract deadline.
14. The apparent low bidder shall be prepared, with their attorney and insurance agent, to review and redline the proposed contract in a timely manner alongside the City of Nevada.
15. Scaffolding is required at all times over storefront entryways where work is being performed above said entryway.
16. Substitutions may not be accepted without a request and without confirmation of BABAA compliance.
17. Contractor to maintain and document compliance with the Build American, Buy American Act according to those requests by the CoG. Including, but not limited to, item quantities, costs, certificates, percentage of contract amount, and waivers for such qualifying items. This information must be supplied with each applicable pay application.